

GENERAL NOTES

1. Unit Plans are dimensioned to face of stud, unless noted otherwise. Typical framing is with 2x4 or 2x6 Wood Framing.
2. Interior Elevations are dimensioned to finish face of gypsum board, typical.
3. Coordinate project specific manufacturer's dimensions required for all hardware with size of mechanical closets and mechanical close doors before building enclosure walls and fur downs. Adjust as required. Contractor to verify before purchase of doors that a 6'-8" door will provide adequate vertical access to project specific mechanical unit for servicing.
4. Coordinate project specific tub and shower units with framing opening dimensions. Adjust as required.
5. Kitchen base cabinets are 24" deep and 34.5" tall [except of type 'A' units where base cabinets to be 32.5" tall]. Kitchen wall cabinets are 12" deep and 42" tall. Bath base cabinets are 21" deep and 32.5" tall typical.
6. Ventilated wire shelves are typical and noted as either wire shelves or Shelf and Rod wire shelves per Closet Maid®. 1R1S abbreviates one rod/one shelf. 1R2S abbreviates one rod/two shelves. 2R2S abbreviates two rods/two shelves.
7. All tub and shower areas shall be enclosed with moisture resistant Georgia-Pacific DensShield® The Backer Board. If these walls are one-hour rated then moisture resistant Georgia-Pacific 5/8" DensShield® Freguard® The Backer Board shall be used.
8. All floor finishes to be as noted on plans.
9. Typical 1x4 FJP base and door trim throughout unit. Paint-grade FJP at window sill (1x6), window apron (1x2), and bathroom base trim (1x4). Paint-grade shoe mould to match material at hard surfaces. Stain shoe mould at cabinets. Run window sill and apron trim continuous in front of double windows, typical.
10. All bath and kitchen cabinets color selections to be per owner.
11. All bath and kitchen countertop color selections to be per owner.
12. All corner kitchen cabinets to be non-usable corner cabinets.
13. All cabinets with exposed end to be a finished end panel.
14. Brushed nickel exposed plumbing fixtures, door hardware (including hinges) and miscellaneous hardware, typical. Toilet accessories to be brushed nickel, typical.
15. All unit ceilings to have approved (by owner) smooth painted finish.
16. All interior unit walls to be approved (by owner) smooth painted finish surface gypsum board with painted base trim caulked along all joints unless otherwise noted.
17. Each unit to be provided with one class ABC 5 pound portable fire extinguisher, in kitchen.
18. No medicine cabinets.
19. Entry Doors shown are to be held 6" off hinges side of wall, interior doors are held 1/2" off hinge side of wall, unless otherwise noted.
20. Contractor to verify microwave height (offset) specifications, and install microwave to manufacturer's recommended clearance above cooktop. Adjust cabinet as required.
21. Contractor and Cabinet Sub-Contractor to coordinate final cabinet layout with owner's approved appliance selections.
22. Where Removable Base Cabinet's are required per plan, finishing to be per owner's cabinets. In addition, at all units file to extend 6" under outside face of cabinet in all directions under dishwasher, refrigerator and stove/oven.
23. All Group R-2 interior finishes to meet/exceed a Class B fire rating. All Group R-2 exterior finishes to meet/exceed a Class B fire rating.
24. All walls and floor/ceiling assemblies of unit and unit/public area (stair, stairwell, amenity, etc.) shall achieve a minimum STC/IC of 50 as required per code.
25. All vanity mirrors to be 42" high and run the full width of the vanity.
26. Ice maker (IM) to be located in plan, provide 24" x 24" x 24" cutout shown in rated wall.
27. All window heads and panes to be shown as wall return.
28. All changes in level at or above and thresholds at doorways intended for user passage shall comply with 2010 ADA, Section 303.
29. Provide hybrid black or matched aluminum wall in unit plans per typical details in A0.5 series.
30. Shower glass to be 1/2" thick tempered glass typical.
31. All doors to be 2" face and 1 1/2" thick windows.
32. Provide 2" face and 1 1/2" thick windows.

Seal

March 19, 2021

ZPA

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Project: 1928
CADD File: MSUN-B1
Drawn By: AD
Checked By: LM

Permit Released:
May 15, 2020
Construction Release Set:
May 15, 2020

Revisions

No.	Date	Description	Owner Comments
1	03/19/21		

ASI / RFI Revisions

No.	Date	Description

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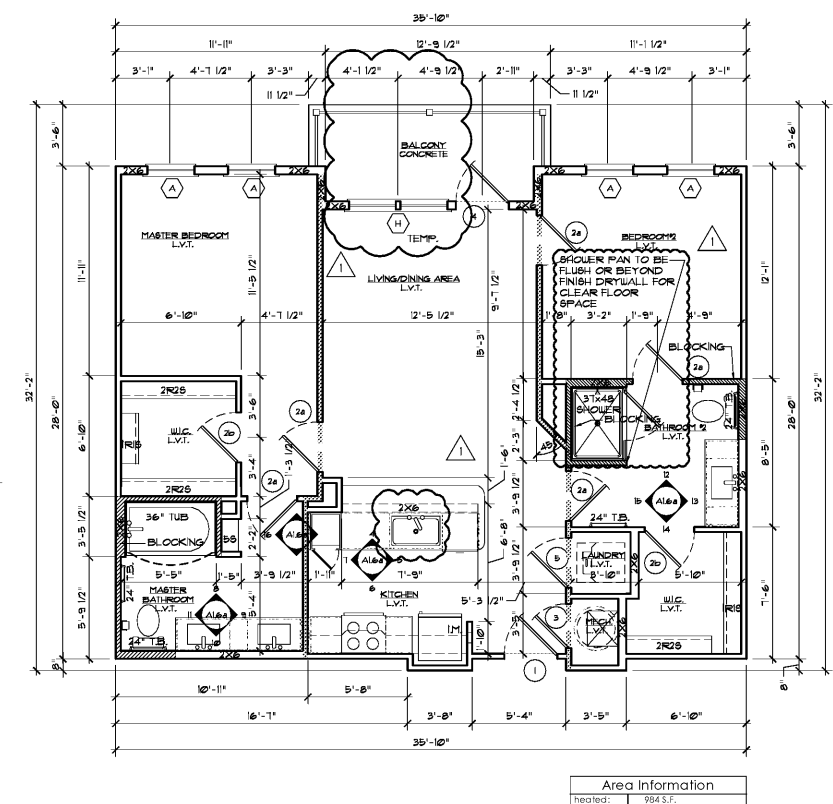
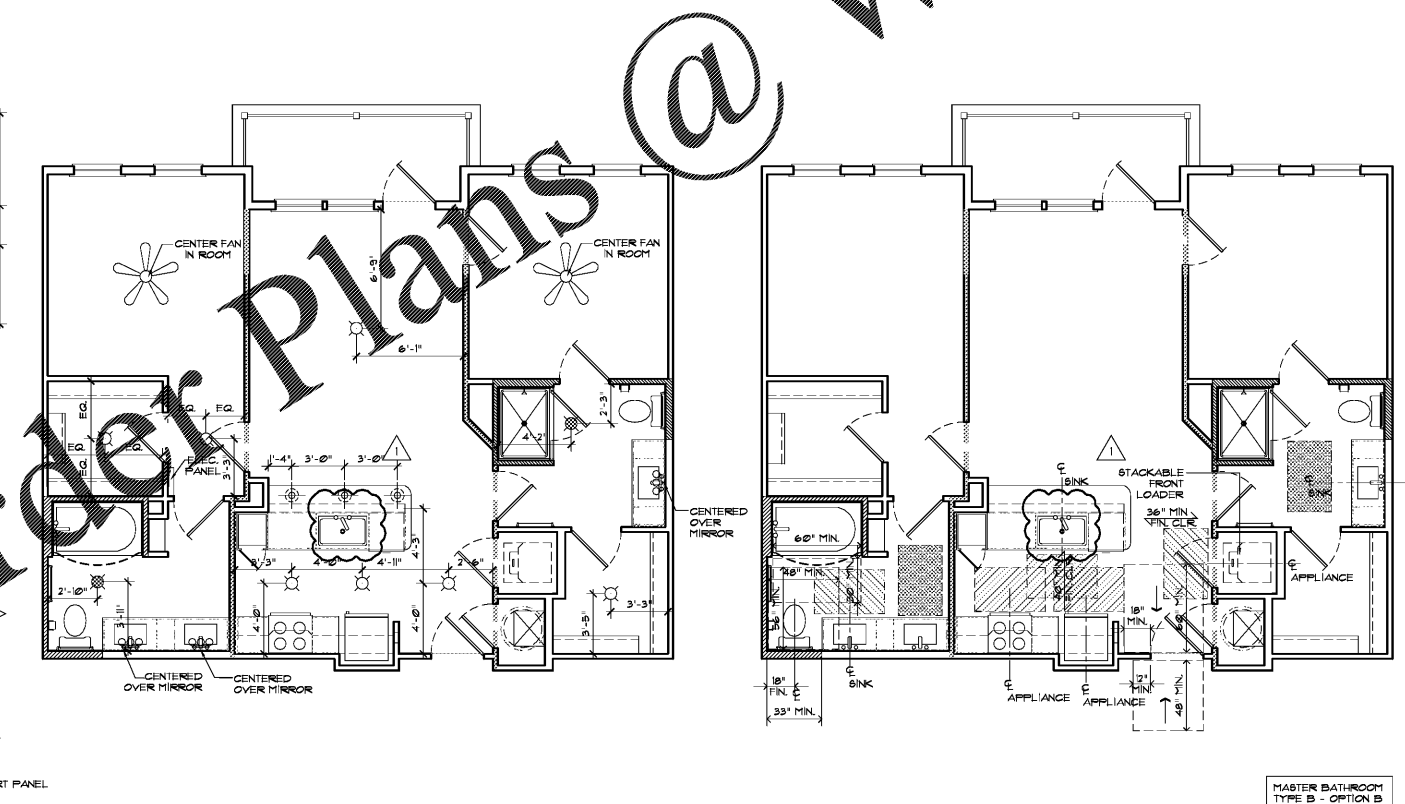
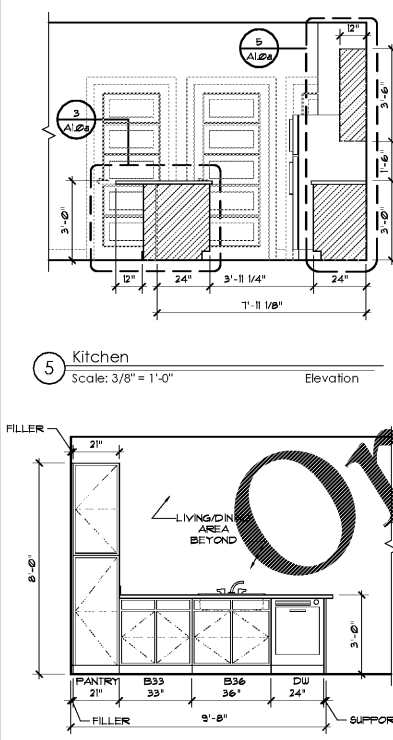
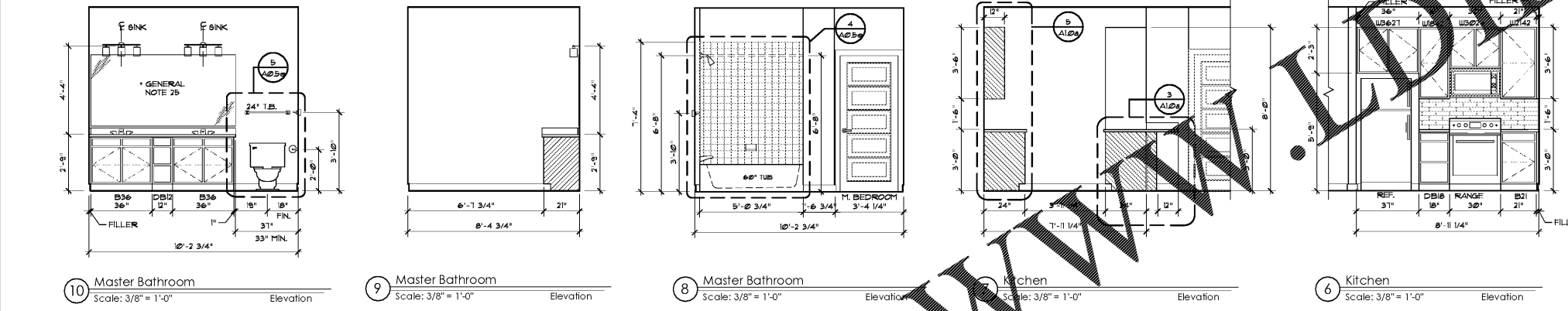
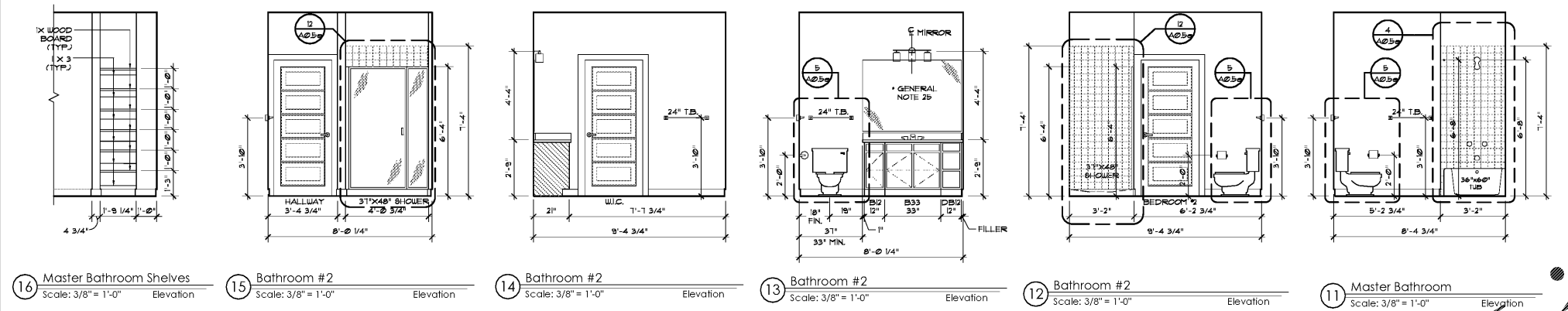
ACCESSIBILITY DIAGRAM NOTES

1. Indicates removable base cabinet.
2. Indicates 30"x48" clear floor space of appliances and fixtures.
3. Indicates 30"x48" clear floor space outside of door swing.
4. Indicates 30"x60" clear floor space in front of tub with a parallel approach.
5. At resident's request, remove laundry room door(s) for additional clearance.

REFLECTED CEILING PLAN LEGEND

- Coverplate for future fixture
- Surface-mounted light fixture (large fixture-mounting plate shown as ceiling fixture)
- Exhaust Fan/ Light Combo
- Pendant light fixture
- Ceiling Fan/Light

Notes:
1. Ceiling fans, lights, or fixtures to be centered in room, closet, or hallway, unless otherwise noted.
2. Pendant lighting to be centered on kitchen island wall below. See RCP for spacing.



Area Information

heated:	894 S.F.
unheated:	715 S.F.
total:	1,609 S.F.

Borough 33
an Apartment Community by
33 Broad MF, LLC
in Chattanooga, Tennessee

Drawing Title:
UNIT B1
Floor Plan, Interior Elevations
& General Notes

A1.6a

ISSUED FOR CONSTRUCTION