

GENERAL NOTES

1. Unit Plans are dimensioned to face of stud, unless noted otherwise. Typical framing is with 2x4 or 2x6 Wood Framing.
2. Interior Elevations are dimensioned to finish face of gypsum board, typical.
3. Coordinate project specific manufacturer's dimensions required for air handler with size of mechanical closets and mechanical closet doors before building enclosure walls and run downs. Adjust as required. Contractor to verify before purchase of doors that a 6' door will provide adequate vertical access to project specific mechanical unit for servicing.
4. Coordinate project specific tub and shower units with framing openings dimensioned. Adjust as required.
5. Kitchen base cabinets are 24" deep and 34.5" tall (except for Type 'A' units where base cabinets to be 30.5" tall). Kitchen wall cabinets are 12" deep and 42" tall. Bath base cabinets are 21" deep and 32.5" tall typical.
6. Ventilated wire shelves are typical and noted as either wire shelves or 3/8" and Rod wire shelves per Closet Moid. I.R.I.S. abbreviates one rod/one shelf. 1R2S abbreviates one rod/two shelves. 2R2S abbreviates two rods/two shelves.
7. All tub and shower areas shall be enclosed with moisture resistant Georgia-Pacific DensShield® Tile Backer boards. If these walls are one hour rated then moisture resistant Georgia-Pacific 5/8" DensShield® Frequent® Tile Backer board shall be used.
8. All floor finishes to be as noted on plans.
9. Typical 1x4 FJP base and door trim throughout unit. Paint grade FJP at window sill (1x4), window apron (1x2), and bathroom base trim (1x4). Paint grade shoe mould to match material of hard surfaces. Stain shoe mould at cabinets, run window sill and apron trim continuous in front of double windows, typical.
10. All bath and kitchen cabinets color selections to be per owner.
11. All bath and kitchen countertops color selections to be per owner.
12. All corner kitchen cabinets to be non-usable corner cabinets.
13. All cabinets with exposed end to be a finished end panel.
14. Brushed nickel exposed plumbing fixtures, door hardware (including hinges) and miscellaneous hardware, typical. Toilet accessories to be brushed nickel, typical.
15. All unit ceilings to have approved (by owner) smooth painted finish.
16. All interior unit walls to be approved (by owner) smooth painted finish surface gypsum board. Painted base trim caulked along all joints unless otherwise noted.
17. Each unit to be provided with one class ABC 5 pound portable fire extinguisher, in kitchen.
18. No medicine cabinets.
19. Entry Doors shown are to be held 6' off hinges side of wall. Interior doors are held 6' off hinges side of wall, unless otherwise noted.
20. Contractor to verify microwave height (to top) specifications, and install microwave to maintain recommended clearance above cooktop. Adjust cabinet as required.
21. Contractor and Cabinet Sub-Contractor to coordinate final cabinet layout with owner's approved appliance selections.
22. Where Removable Base Cabinets are required per plan, finishing to be per manufacturer's instructions. In addition, all units to extend 6' under outside face of cabinet in all directions to under sink, stove, refrigerator and stove/range.
23. All Group R-2 interior finishes to meet/exceed a minimum Class B fire rating. All Group R-2 exterior finishes to meet/exceed a Class B fire rating.
24. All walls and floor/ceiling assemblies of unit, and unit/public area, (elevator, stairwell, amenity, etc.) shall achieve a minimum STC/IC of 50 as required per code.
25. All vanity mirrors to be 42" high and run the full width of the vanity.
26. Ice maker (IM) to be located per plan. Provide 12" high cutout in cabinet as shown in noted wall.
27. All window heads and jamb to be finished with drywall return.
28. All changes in level at thresholds and doorways intended for user passage shall comply with 2010 ADA Section 303.
29. Provide typical block and mortar finished exterior walls in unit plans per typical details in A05 series.
30. Shower glass shall be finished to be 6' x 1/4" tempered glass typical.
31. All cabinet doors to be finished end panel.
32. Provide 2" Faux wood blinds on windows.

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Project: 1928.00
CADD File: MSUN-A2
Drawn By: AD
Checked By: LM

Permit Release:
May 15, 2020
Construction Release Set:
May 15, 2020

REVISIONS

No.	Date	Description	Owner Comments
1	03/19/21	Owner Comments	

ASI / RFI Revisions

No.	Date	Description
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ACCESSIBILITY DIAGRAM NOTES

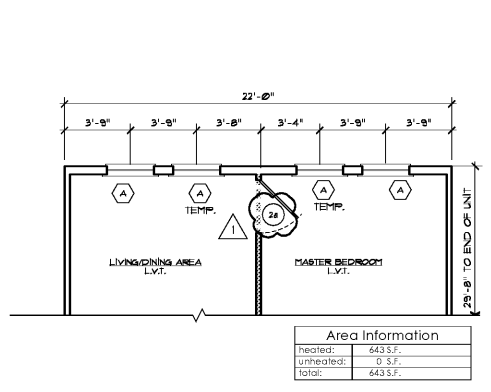
1. Indicates removable base cabinet.
2. Indicates 30"x48" clear floor space at appliances and fixtures.
3. Indicates 30"x48" clear floor space outside of door swing.
4. Indicates 30"x60" clear floor space in front of tub with a parallel approach.
5. At resident's request, remove laundry room door(s) for additional clearance.

REFLECTED CEILING PLAN LEGEND

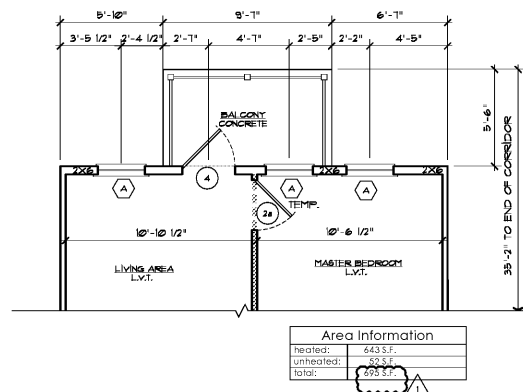
	Cover plate for future fixture		Pendant light fixture
	Surface-mounted light fixture (Large surface-mounted light fixture or ceiling fixture)		Ceiling Fan/Light
	Exhaust Fan/ Light Combo		

- Notes:**
1. Ceiling fans, lights, or fixtures to be centered in room, closet, or hallway, unless otherwise noted.
 2. Pendant lighting to be centered on kitchen island wall below See RCP for spacing.

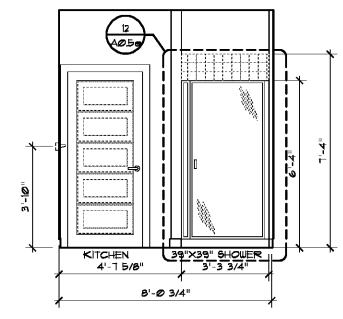
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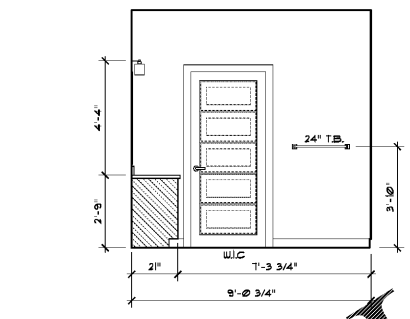
13 Unit A2 - Alt 2
Scale: 1/4" = 1'-0"
Plan



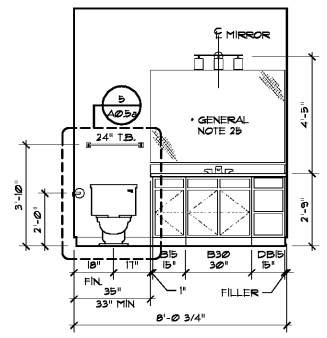
12 Unit A2 - Alt 1
Scale: 1/4" = 1'-0"
Plan



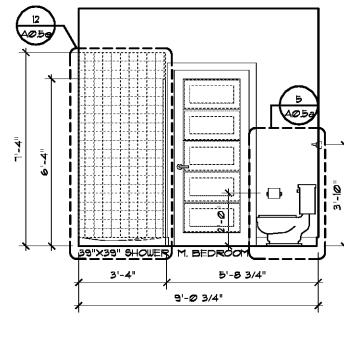
11 Master Bathroom
Scale: 3/8" = 1'-0"
Elevation



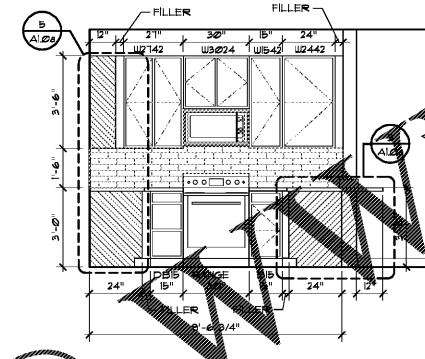
10 Master Bathroom
Scale: 3/8" = 1'-0"
Elevation



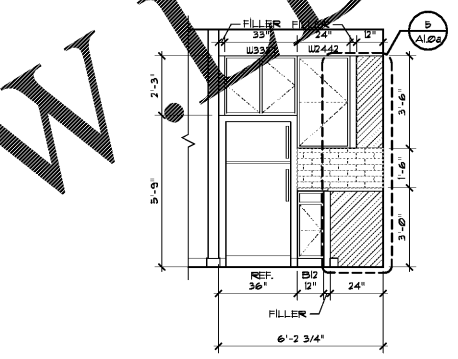
9 Master Bathroom
Scale: 3/8" = 1'-0"
Elevation



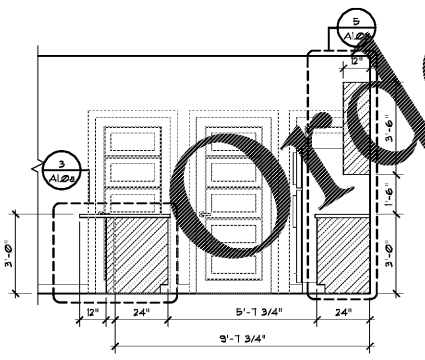
8 Master Bathroom
Scale: 3/8" = 1'-0"
Elevation



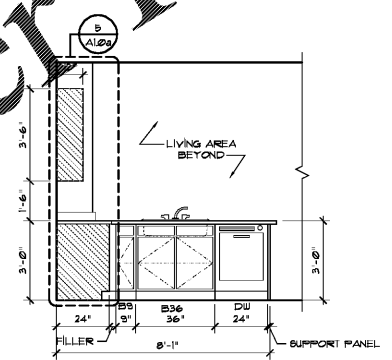
7 Kitchen
Scale: 3/8" = 1'-0"
Elevation



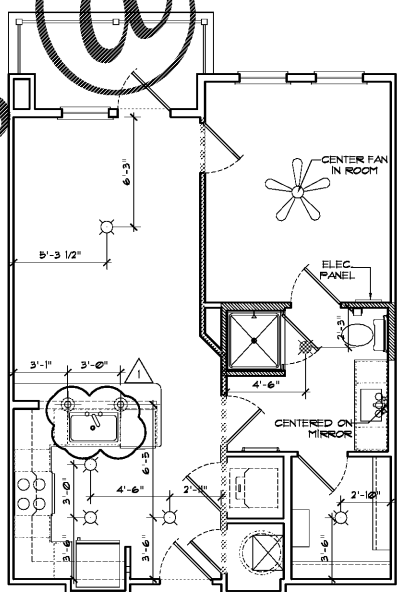
6 Kitchen
Scale: 3/8" = 1'-0"
Elevation



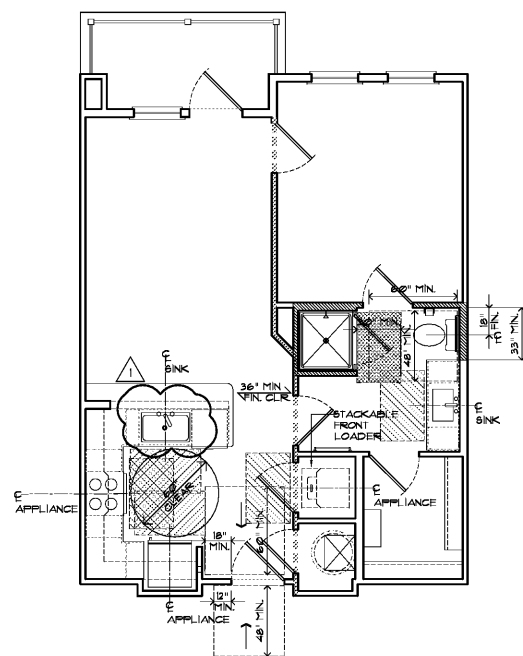
5 Kitchen
Scale: 3/8" = 1'-0"
Elevation



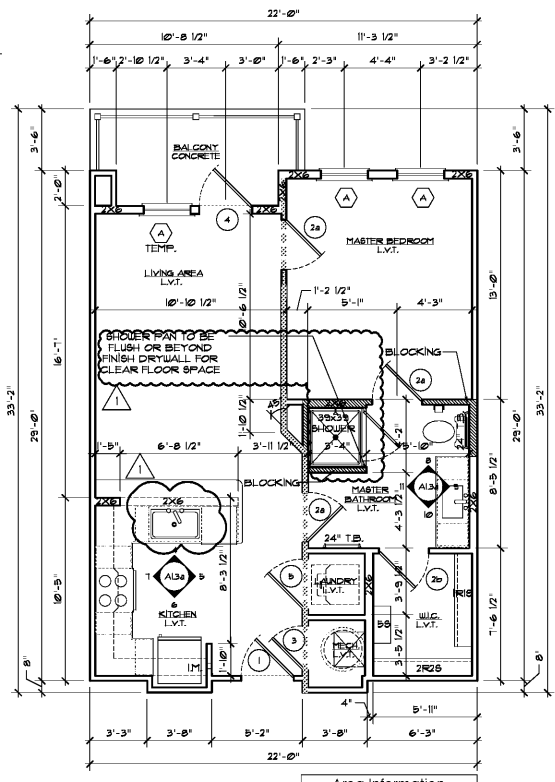
4 Kitchen
Scale: 3/8" = 1'-0"
Elevation



3 Unit A2 - Reflected Ceiling Plan
Scale: 1/4" = 1'-0"
Plan



2 Unit A2 - Mobility Feature Diagram
Scale: 1/4" = 1'-0"
Plan



1 Unit A2 - Standard Unit
Scale: 1/4" = 1'-0"
Plan

Borough 33
an Apartment Community by
33 Broad MF, LLC
in Chattanooga, Tennessee

Drawing Title:
UNIT A2
Floor Plans, Interior Elevations
& General Notes

A1.3a

Order Plans @

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