

SRP BRANCH BANK

3559 RICHLAND AVENUE
AIKEN, SC 29801

Architecture | Interior Design | Planning
771 Broad Street Suite 200
Augusta, Georgia 30901
(706) 722-7488
mail@dickinsonarchitects.com
www.dickinsonarchitects.com

Member of the
American Institute of
Architects

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PROJECT TITLE:
**SRP
BRANCH
BANK**

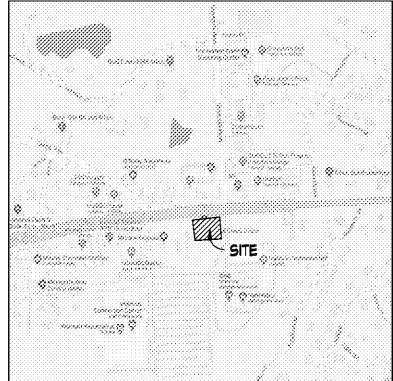
REVISIONS			
REV #	DATE	APRVD BY	REVISION
1	03/17/21	NDJ	ISSUE FOR PERMIT

DA PROJECT NUMBER & NAME:
2092

DRAWING TITLE:
TITLE SHEET

DRAWING NO:
T100

SITE MAP



PROJECT DIRECTORY

OWNER:
LEE BENNINGTON
FACILITIES AVP
1070 EDGEFIELD ROAD
NORTH AUGUSTA, SC 29861
PH: 803-202-4308
EMAIL: LBENNINGTON@SRPCU.ORG

ELECTRICAL ENGINEER:
ELECTRICAL DESIGN CONSULTANTS, INC.
1201 BROAD STREET, SUITE 1A
AUGUSTA, GA 30901
PH: (706) 724-3551
CONTACT: ASHLEY PAULK, P.E.
EMAIL: APAULK@EDCAUGUSTA.COM

ARCHITECT:
DICKINSON ARCHITECTS
771 BROAD STREET, SUITE 200
AUGUSTA, GEORGIA 30901
PH: (706) 722-7488
FX: (706) 724-1029
CONTACT: NICHOLAS DICKINSON, II, AIA
EMAIL: NDJR@DICKINSONARCHITECTS.COM

MECH./PLUMBING ENGINEER:
PRUETT FORD & ASSOCIATES, INC.
1201 BROAD STREET, SUITE 3A
AUGUSTA, GA 30901
PH: (706) 722-3959
CONTACT: MARTIN FORD, P.E.
EMAIL: JMFORD@PRUETTFORD.COM

STRUCTURAL ENGINEER:
CRANSTON ENGINEERING GROUP
P.O. BOX 2546
452 ELLIS STREET
AUGUSTA, GA 30901
PH: (706) 722-1588
CONTACT: JIM CRANFORD, P.E.
EMAIL: JBCRANFORD@CRANSTONENGINEERING.COM

CIVIL:
JAMES G. SWIFT & ASSOCIATES
1206 INTERSTATE PARKWAY
AUGUSTA, GA 30909
PH: (706) 868-8803
CONTACT: BO SLAUGHTER, P.E.
EMAIL: JGS.BO@KNOLGY.NET

ABBREVIATIONS

A/C	AIR CONDITIONER	HM	HOLLOW METAL
ALT	ALTERNATE	HOR	HORIZONTAL
ALUM	ALUMINUM	HP	HOT POWER
@	AT	HR	HOUR
A.F.F.	ABOVE FINISH FLOOR	HVAE	HEATING VENTILATING AIR CONDITIONING
A.L.	ARCH LENGTH	HW	HOT WATER SUPPLY (CWS - COLD)
A.C.P.	ACOUSTICAL CEILING PANEL	HWR	HOT WATER RETURN (CWR - COLD)
A.V.	AUDIO VISUAL	ID	INSIDE DIAMETER
AWG	AVERAGE WIRE GAUGE	INSUL	INSULATION
BD	BOARD	INT.	INTERIOR
BOTT. B'	BOTTOM	J	JUNCTION
BM	BEAM	JT	JOINT
BRG.	BEARING	JB	JOIST BEARING
B.S.	BATH	JP	LATEX PAINT
BTUH	BRITISH THERMAL UNIT/HOUR	LAM	LAMINATED
BULKHD	BULKHEAD	MAT.	MATERIAL
CA	CANAL	MAX.	MAXIMUM
C.B.	CERAMIC TILE	MECH.	MECHANICAL
CC	COLOR CONCRETE	MFGR	MANUFACTURER
CEIL	CEILING	MIN.	MINIMUM / MINUTE
CFM	CUBIC FEET PER MINUTE	MISC	MISCELLANEOUS
CG	CORNER GUARD	M.O.	MASONRY OPENING
C.I.	CASING	MR.	MOISTURE RESISTANT
CJ	CONTROL JOINT	MTD	MOUNTED
CL	CLEARANCE	MTL	METAL
CL	CEILING	MUL	MULLION
C	CONCRETE	N.E.C.	NATIONAL ELECTRICAL CODE
CMU	CONCRETE MASONRY UNIT	N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
CO	CLEAN OUT	N.I.C.	NOT IN CONTRACT
COL	COL	O.A.	OUTSIDE AIR
CONC	CONCRETE	O.C.	ON CENTER
COND	CONDUCTIVE	O.D.	OUTSIDE DIAMETER
CONST.	CONSTRUCTION	O.H.	OVERHEAD
CONT.	CONTINUOUS	PL	PLATE
CPT	CARPET	PLAM	PLASTIC LAMINATE
CPTB	CARPET BASE	PLYWOOD	PLYWOOD
C.T.	CERAMIC TILE	P.S.F.	PAINTED SMOOTH FINISH
CWC	CERAMIC WALL COVERING	P.S.I.	POUNDS/SQUARE INCH
DBL	DOUBLE	PT	PRESSURE TREATED
DETECT.	DETECTOR	PNT.	PAINTED
DET	DETAIL	Q.T.	QUARRY TILE
DIA.	DIAMETER	REINF.	REINFORCING
DIAG.	DIAGONAL	R	RADIUS
DN	DOWN	RB	RUBBER BASE
DR	DOOR	R.D.	ROOF DRAIN
D.S.	DOWNSPOUT	RDL	ROOF DRAIN LINE
EA	EACH	REQD	REQUIRED
E.C.	ELECTRICAL CONDUIT	R.T.U.	ROOF TOP UNIT
E.C.F.	ELECTRICAL CONDUIT FLEX.	R.W.L.	RAIN WATER LEADER
EF	EXHAUST FAN	S.B.C.	STANDARD BUILDING CODE
E.I.F.S.	EXTERIOR INSULATING FINISH SYSTEM	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SHEET	SHEET
ELECT.	ELECTRICAL	SIM.	SIMILAR
E.P.	EPOXY PAINT	S.S.	STAINLESS STEEL
EQUIP.	EQUIPMENT	SO	SQUARE
E.W.	EACH WAY	ST.GT.	STEEL GRATE
EXIST.	EXISTING	STD.	STANDARD
EWC	ELECTRIC WATER COOLER	STG.	STORAGE
EXT.	EXTERIOR	STL	STEEL
EXP.	EXPOSED	STRUCT.	STRUCTURAL
FACP	FIRE ALARM CONTROL PANEL	TELE	TELEPHONE
FBO/BO	FURNISHED BY OWNER, INSTALLED BY OWNER	TEMP.	TEMPERED
FBO/BC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	TOP	TOP
FGB	FIBER GEMENT BOARD	TB	TOP OF BEAM
FD	FLOOR DRAIN	T/F	TOP OF FOOTING
FE	FIRE EXTINGUISHER	T.H.	THRESHOLD
FEC.	FIRE EXTINGUISHER CABINET	T/J	TOP OF JOIST
FIN	FINISH	T.O.	TOP OF
F.F.L.	FINISH FLOOR LEVEL	T.O.W.	TOP OF WALL
FLR	FLOOR	TS	TUBE STEEL
F.R.	FIRE-RATED	TXS	TEXTURED SURFACE
F.R.P.	FIBERGLASS REINF. PANELS	TYP	TYPICAL
FT.	FOOT	U.L.	UNDERWRITERS LABORATORY
FTG.	FOOTING	U.N.O.	UNLESS NOTED OTHERWISE
F.V.	FIELD VERIFY	V.CONT.	VINYL CONDUCTIVE TILE
G	GROUND	VCT	VINYL COMPOSITION TILE
GA	GAUGE	VM	VENDING MACHINE
G.C.	GENERAL CONTRACTOR	W	WITH
GL	GLASS	WIN	WITHIN
GPM	GALLONS PER MINUTE	W/O	WITHOUT
GYP.BD	GYP SUM BOARD	WB	WOOD BASE
HB	HOSE BIBS	WD	WOOD
HIC	HANDICAP	WF	WOOD FLOOR
HCEWC	HANDICAP ELECTRIC WATER COOLER	W.P.	WORK POINT
HDWR	HARDWARE	W.W.F.	WELDED WIRE FABRIC
HGT	HEIGHT		

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SYMBOLS LEGEND

	NUMERICAL		NUMERICAL
	BUILDING SECTION		DOOR SYMBOL
	WALL SECTION		ALPHABETICAL WINDOW SYMBOL
	DETAIL		ROOM NUMBER
	VIEW		REVISION
	INTERIOR ELEVATION		ALPHABETICAL TOILET ACCESSORY
			NUMERICAL WALL TYPE
			NUMERICAL KITCHEN EQUIPMENT

ALTERNATES

ALTERNATE #1: PROVIDE GEOMETRIC ACOUSTICAL CEILING PANELS (ACP-2) IN LIEU OF (ACP-1) AT CONFERENCE RM 115.

ADDITIVE ALTERNATE #2: PROVIDE ARCHITECTURAL MASONRY (BT-2/BT-3) AS SPECIFIED IN SECTION 04 7200 IN LIEU OF CLAY MASONRY (BT-1) AS SPECIFIED IN SECTION 04 0000.

ARCHITECTURAL GENERAL NOTES

- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
- LARGER SCALE PLANS & DETAILS WILL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
- MATERIALS, DIMENSIONS AND ALL OTHER CONDITIONS NOT OTHERWISE INDICATED IN THESE CONSTRUCTION DOCUMENTS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE WITHIN THESE DOCUMENTS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION.
- THE CONTRACTOR, UPON AWARDS CONTRACTS TO SUBCONTRACTORS, SHALL SUBMIT TO THE ARCHITECT AND THE OWNER A LIST OF ALL ITEMS AND THEIR DELIVERY SCHEDULES. THE CONTRACTOR SHALL IDENTIFY ALL LONG-LEAD TIME ITEMS ON THE PROJECT (I.E., MATERIALS, FABRICS, HARDWARE, ETC.). THE CONTRACTOR, PRIOR TO ORDERING AN ITEM, SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND THE OWNER OF ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DELAY TO MOVE-IN DATE CAUSED BY SCHEDULING WITHIN HIS SCOPE, I.E., DELIVERY DATES OF MATERIALS, ETC.
- FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED, CONSIDERATIONS SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVELNESS RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATION SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES. ALIGNMENT OF THE DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE. LEVEL FLOORS AS REQUIRED USING APPROVED LEVELING COMPOUND.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY REINFORCING TO ACCOMMODATE INTERIOR FINISHES, FIXTURES AND EQUIPMENT AS DESCRIBED IN THESE DOCUMENTS.
- THE EXTENT OF WORK SHALL BE LIMITED TO THAT INDICATED IN THE CONTRACT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT OR OWNER. ANY ADDITIONAL WORK PERFORMED WITHOUT WRITTEN APPROVAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW, UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED AS "CLEAR" OR "CRITICAL" SHALL BE MEASURED FROM FINISHED FACE TO FINISHED FACE.
- ALL GYPSUM WALLBOARD AND METAL STUD CONSTRUCTION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY'S "GYPSUM CONSTRUCTION HANDBOOK", LATEST EDITION.
- ALL FINISH CARPENTRY AND MILLWORK SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL WOODWORKS INSTITUTE (AWI) STANDARDS FOR SELECTION OF MATERIALS HARDWARE, FABRICATION, WORKMANSHIP, AND FINISHING.
- EQUIPMENT AND APPLIANCES: THE CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE AND COORDINATE INSTALLATION OF OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES WHERE DESIGNATED. CONTRACTOR SHALL VERIFY THE PLUMBING AND ELECTRICAL REQUIREMENTS OF ALL SUCH APPLIANCES.
- PATCH AND SEAL ALL PENETRATIONS IN THE FLOOR AND PARTITIONS TO COMPLY WITH APPLICABLE BUILDING AND/OR FIRE, LIFE SAFETY CODES.
- "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FLOOR FINISH CHANGES SHALL OCCUR UNDER CENTER LINE OF DOOR IN CLOSED POSITION.
- WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT AT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS INDICATED ON THE ARCHITECTURAL MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. ALL ITEMS INDICATED ON ANY DRAWING ARE TO BE INCLUDED AS A COMPLETE SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING WORK WITH ARCHITECTURAL DRAWINGS. HE SHALL BE RESPONSIBLE TO IDENTIFY ANY DISCREPANCIES ON THE DOCUMENTS AND SHALL INFORM THE ARCHITECT.