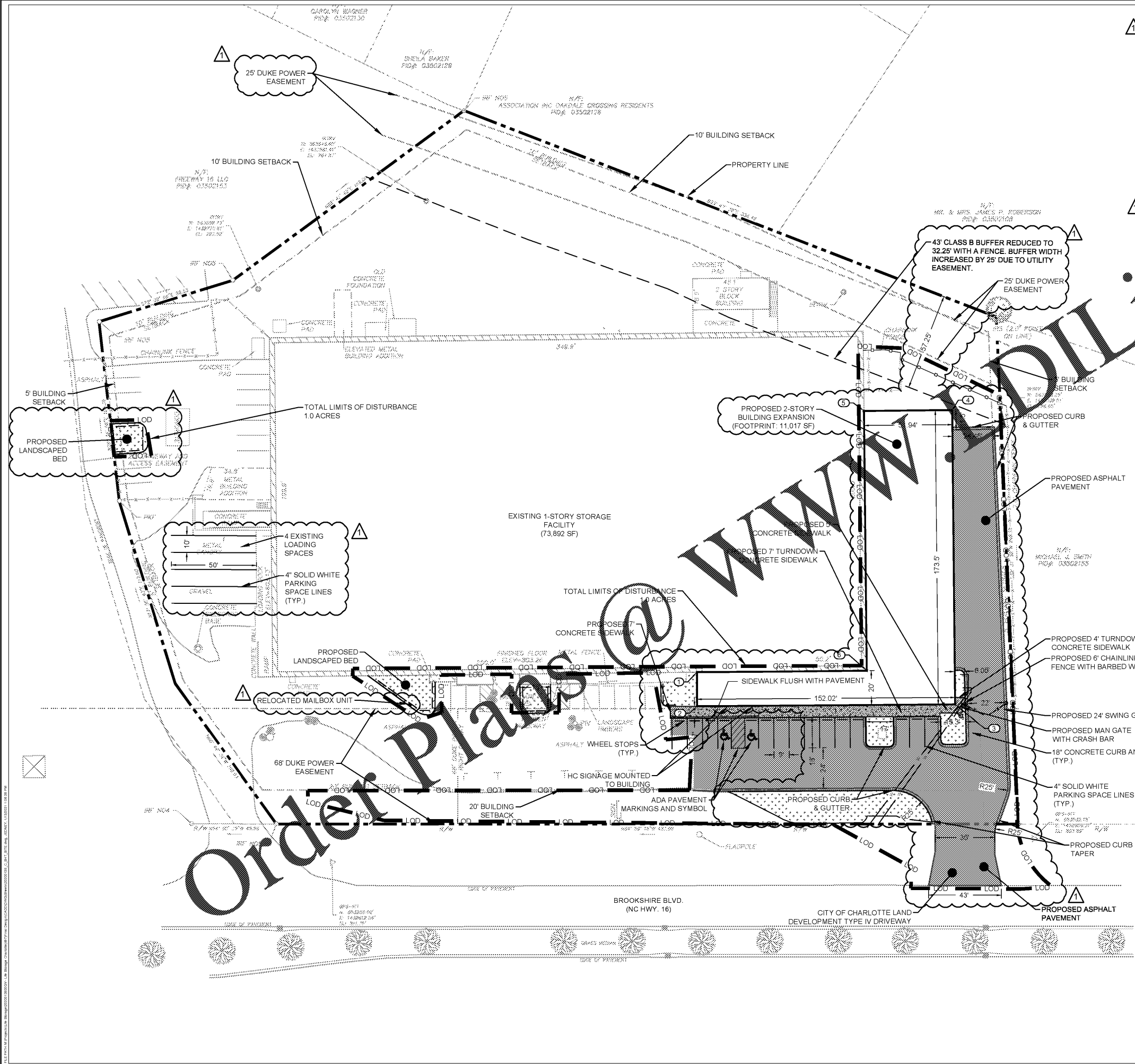


CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHARLOTTE AND THE MECKLENBURG COUNTY PLANNING AND ZONING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHARLOTTE AND THE MECKLENBURG COUNTY PLANNING AND ZONING DEPARTMENT.



- NOTES:**
- REFER TO SHEET 2 AND 3 FOR GENERAL NOTES AND LEGEND.
 - ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL MEET ALL REQUIREMENTS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MECKLENBURG REGULATIONS, LATEST REVISION.
 - CONTRACTOR SHALL APPLY AND OBTAIN A MECKLENBURG COUNTY BUILDING PERMIT FOR PROPOSED BUILDING.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY PROVIDERS FOR RELOCATION AND DEMOLITION OF UTILITIES.
 - CONTRACTOR SHALL COORDINATE WITH OWNER ON PROPOSED LAYDOWN / MATERIAL STORAGE LOCATIONS.
 - CONTRACTOR SHALL SAWCUT EXISTING ASPHALT AT PROPOSED ASPHALT/BUILDING TIE IN LOCATIONS PER THE SITE PLAN.
 - PROPOSED LIGHTING SHALL BE BOLLARD MOUNTED WALL PACKS. NO ADDITIONAL LIGHTING TOWARDS ADJACENT RESIDENTIAL AREA.
 - ON-SITE TRASH HANDLED PRIVATELY. NO EXISTING OR PROPOSED DUMPSTERS.
- PARKING SUMMARY:**
- REQUIRED PARKING SPACES = 22 SPACES
 1009' X 11' (1 PER 400 SF OF OFFICE SPACE) = 3 SPACES
 2980' X 11' (1 PER 4,000 SF SPACES OF WAREHOUSE SPACE) = 19 SPACES
 PARKING SPACES PROVIDED = 28 SPACES, INCLUDING 2 ADA SPACE
- *SEE SHEET 2 FOR DEVELOPMENT SUMMARY

IMPERVIOUS AREA SUMMARY (PROPOSED):

PROPOSED BUILDING AREA:	0.25 AC
PROPOSED ASPHALT:	0.32 AC
PROPOSED CONCRETE:	0.03 AC
TOTAL PROPOSED IMPERVIOUS AREA:	0.60 AC
NET DECREASE IN IMPERVIOUS AREA:	0.03 AC

NOTE:
 SITE IS LOCATED IN THE WESTERN CATAWBA PC DISTRICT AND IS WITHIN A DISTRESSED BUSINESS DISTRICT. THERE IS A NET REDUCTION IN IMPERVIOUS COVERAGE FROM THIS PROPOSED REDEVELOPMENT. NO STORMWATER BMP'S ARE REQUIRED OR PROPOSED.

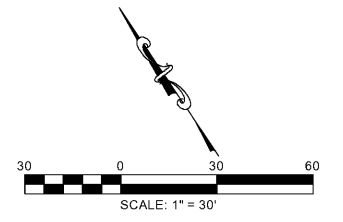
***Point Table**

Point #	Raw Description	Northing	Easting
1	BLDG	563226.46	1432852.89
2	BLDG	563209.93	1432841.45
3	BLDG	563123.62	1432966.60
4	BLDG	563266.75	1433064.66
5	BLDG	563296.10	1433021.82
6	BLDG	563169.80	1432935.36

NOTE:
 *FOR INFORMATIONAL PURPOSES ONLY. COORDINATES WILL BE DEPENDENT ON FINAL ARCHITECTURAL DRAWINGS.

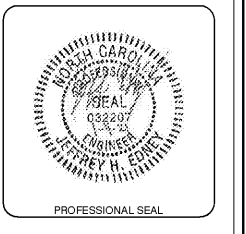
LEGEND

ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
LANDSCAPE BED	



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NO.	DATE	DESCRIPTION
1	05/06/2020	REVISIONS PER CITY OF CHARLOTTE & DUKE ENERGY COMMENTS

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

PROJECT NAME:
 LIFE STORAGE #497 - CHARLOTTE SITE IMPROVEMENTS
 5600 BROOKSHIRE BLVD., CHARLOTTE, NORTH CAROLINA 28216

FOR:
 LIFE STORAGE, INC.
 CITY OF CHARLOTTE, NORTH CAROLINA

DRAWING TITLE:
 SITE LAYOUT PLAN

PROJ. MGR.: JHE
DESIGN BY: MDJ
DRAWN BY: BAD
PROJ. DATE: MAY 2020
DRAWING NUMBER:

6 OF 19
 WKD PROJ. NO.: 20200138.00.GV