

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Name of Project: Dr Wesley Grant Sr Center Expansion
Address: 285 Livingston Street, Asheville, NC
Owner / Authorized Agent: City of Asheville Parks and Recreation

Table with 6 columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL. Lists various design firms and their contact information.

2018 NC BUILDING CODE: [X] New Building [] Shell/Core [] 1st Time Interior Completions
2018 NC EXISTING BUILDING CODE: [] Prescriptive [] Alteration Level I [] Historic Property

CONSTRUCTED: (date) 2011 CURRENT OCCUPANCY(S)(Ch 3): A-1
RENOVATED: (date) PROPOSED OCCUPANCY(S)(Ch 3): A-1, A-4

BASIC BUILDING DATA
Construction Type: [] I-A [] II-A [] III-A [] IV [] V-A
Sprinklers: [] No [] Partial [X] NFPA 13 [] NFPA 13R [] NFPA 13D

GROSS BUILDING AREA TABLE
Table with 4 columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), SUB-TOTAL (SQ FT)

ALLOWABLE AREA
Primary Occupancy Classification(s): [X] A-1 [] A-2 [] A-3 [X] A-4 [] A-5

Accessory Occupancy Classification(s):
Incidental Uses (Table 509): This separation is not exempt as a Non-Separated Use (see exceptions).

Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy: [] No [X] Yes Separation: Hr Exception:
[X] Non-Separated Use (508.3)
The required type of construction for the building shall be determined by the height and area limitations for each of the applicable occupancies to the building.

Table with 6 columns: LEVEL, DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 (4) AREA, (C) AREA FOR FRONTAGE INCREASE (1,5), (D) AREA FOR SPRINKLER INCREASE, (E) ALLOWABLE AREA PER STORY OR UNLIMITED (2,3), (F) MAXIMUM BUILDING AREA

- 1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (P)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase if = 100 [(F/P-0.25) x W/30 = (%)

ALLOWABLE HEIGHT
Table with 4 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE
Building Height in Feet (Table 504.3): 75, 39
Building Height in Stories (Table 504.4): 3, 1

FIRE PROTECTION REQUIREMENTS
Table with 8 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING REQD, PROVIDED (W/ REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATION, DESIGN # FOR RATED JOINTS

*Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS
Table with 4 columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.8), ALLOWABLE AREA (%), ACTUAL SHOWN PLANS (%)

SAFETY PLAN REQUIREMENTS
Emergency Lighting: [X] Yes [] No
Exit Signs: [X] Yes [] No

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: G1002
Fire and / or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)

ACCESSIBLE DWELLING UNITS (SECTION 1107)
Table with 7 columns: ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)
Table with 6 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, PROVIDED, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
Table with 8 columns: USE, WATERCLOSETS (MALE, FEMALE, UNISEX), URINALS, LAVATORIES (MALE, FEMALE, UNISEX), SHOWERS/TUBS, DRINKING FOUNTAINS (REGULAR, ACCESSIBLE)

SPECIAL APPROVAL
Special approval: (Local Jurisdiction, Department of Insurance, Dept. DPI, DHHS, ICC, etc. or other below)
HEALTH DEPARTMENT (POOL)

ENERGY REQUIREMENTS
The following shall be considered minimum and any special attribute required to meet the energy code shall also be provided.

Method of Compliance: [X] Prescriptive (Energy Code) Performance (Energy Code)
Prescriptive (ASHRAE 90.1) Performance (ASHRAE 90.1)

Roof/Ceiling Assembly
Description of assembly: STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD MEMBRANE OVER 6" RIGID POLYISO INSULATION OVER VAPOR BARRIER OVER METAL DECK

Roof/Ceiling Assembly
Description of assembly: TPO MEMBRANE ROOF OVER 6" RIGID POLYISO INSULATION OVER VAPOR BARRIER OVER METAL DECK

Exterior Walls
Description of assembly: BRICK VENEER WITH 2" AIR SPACE ON AIR BARRIER ON 3" CONTINUOUS MINERAL WOOL INSULATION ON EXTERIOR SHEATHING ON METAL STUDS AND GYP BOARD INTERIOR FINISH

Exterior Walls
Description of assembly: BRICK VENEER WITH 2" AIR SPACE ON AIR BARRIER ON 3" CONTINUOUS MINERAL WOOL INSULATION ON 8" CMU

Exterior Walls
Description of assembly: METAL WALL PANEL ON 3" CONTINUOUS MINERAL WOOL INSULATION ON 8" CMU

Exterior Walls
METAL WALL PANEL ON 3" CONTINUOUS MINERAL WOOL INSULATION ON EXTERIOR SHEATHING ON METAL STUDS AND GYP BOARD INTERIOR FINISH

Floors slab on grade
4" CONC. SLAB ON GRADE W/ VAPOR RETARDER, 3" XPS INSUL. AT FOUND WALLS AND PERIMETER

STRUCTURAL SUMMARY

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT
Thermal Zone: winter dry bulb: 12.2, summer dry bulb: 88.2
Interior design conditions: winter dry bulb: 75, summer dry bulb: 75, relative humidity: 50%

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN

ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance: [X] Prescriptive (Energy Code) Performance (Energy Code)
Prescriptive (ASHRAE 90.1) Performance (ASHRAE 90.1)

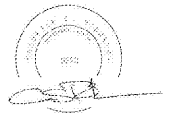
Lighting schedule (each fixture type)
lamp type required, number of lamps in each fixture, ballast type use in the fixture, number of ballasts in the fixture, total wattage per fixture, total interior wattage specified vs. allowed (whole building or space by space), total exterior wattage specified vs. allowed

Additional Efficiency Package Options (When using the 2018 NCECC, not required for ASHRAE 90.1)
[C406.2 More Efficient HVAC Equipment Performance
C406.3 Reduced Lighting Power Density
C406.4 Enhanced Digital Lighting Controls
C406.5 On Site Renewable Energy
C406.6 Dedicated Outdoor Air System
C406.7 Reduced Energy Use in Service Water Heating]

City of Asheville Parks & Recreation
DR. WESLEY GRANT SR. CENTER EXPANSION

285 LIVINGSTON STREET
ASHEVILLE, NC 28801

CLARK NEXSEN
261 COLLEGE STREET, SUITE 305
ASHEVILLE, NORTH CAROLINA 28801
828.232.9898
CLARK NEXSEN LICENSE NUMBER: C-1929



2021.03.15 12:16:20-04'00"

03.12.2021
CONSTRUCTION DOCUMENTS

KEY PLAN

BUILDING CODE SUMMARY

G1010

DESIGN: dclarkn
DATE: 3/15/21
REVISION: 03/16/21
CN 7904-A