

GENERAL NOTES:

- NO PARTS OF SIGN LOCATED WITHIN 5' OF THE R/W. PRIOR TO ANY SIGN CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR MUST CONSULT WITH THE PLANNING DEPARTMENT PRIOR TO A PERMIT BEING ISSUED.
- ALL CONSTRUCTION IN R/W TO CONFORM TO GDOT STANDARDS AND SPECIFICATIONS.
- SILT BARRIERS MUST BE IN PLACE PRIOR TO CLEARING, REGARDLESS OF PLAN REQUIREMENT OR LOT SIZE. NO GRADING MAY BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETE. CONTRACTOR MUST CALL FOR AN INSPECTION OF SOIL EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING ACTIVITY.
- ALL EASEMENTS TO BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.
- WITHIN R/W:
TOP 6" OF SUB-BASE MUST BE THOROUGHLY MIXED IN PLACE AND COMPACTED TO 100% MOD. STD PROCTOR. BASE MATERIAL IS COMPACTED GRADED AGGREGATE CONFORMING TO GDOT SPEC SECTION 615. IMPACTED TO 100% MOD. STD PROCTOR. SUB-BASE MUST BE GDOT SPEC. SEC. 810 CLASS 1A MATERIAL. HIGHER CLASSES OF SOIL MAY NOT BE USED FOR SUB-BASES. WHEN SUB-BASE DOES NOT MEET CLASS 1A THEN ACCEPTABLE SUB-BASE STABILIZATION METHODS ARE: A) LIME STABILIZATION B) PORTLAND CEMENT C) AGGREGATE D) TYPE B ASPHALT BASE MATERIAL.
METHOD TO BE USED AND SPECIFIC DESIGN MUST BE APPROVED BY THE COUNTY ENGINEER. BASE AND PAVING MATERIAL ARE 6" GRADED AGGREGATE BASE AND 2" ASPHALT OR MUST MATCH THE DESIGN OF THE ADJOINING ROADWAY, WHICHEVER IS GREATER. CERTIFICATION OF BASE MATERIAL MUST BE SUBMITTED PRIOR TO DUMPING BASE.
- PAVING SPECIFICATIONS TO BE APPROVED BY LOCAL D.O.T. AREA ENGINEER WHEN PERMIT IS SECURED BY APPLICANT.
- NO CERTIFICATE OF OCCUPANCY WILL BE RELEASED UNTIL ALL SITE IMPROVEMENTS, AS APPROVED BY THE COUNTY ENGINEER AND WATER DEPT., ARE COMPLETED.
- THE CONTRACTOR WILL ADHERE TO THE WEIGHT LIMITS PRESCRIBED ON COUNTY MAINTAINED ROADS FOR HAULING EQUIPMENT AND/OR MATERIALS TO AND FROM THIS SITE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO THE STREETS AND/OR UTILITIES DUE TO NON-COMPLIANCE OF WEIGHT LIMIT REGULATIONS.
- THERE ARE NO WETLANDS AREA LOCATED WITHIN THIS PROPERTY.
- THIS PROPERTY DOES NOT LIE WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP PANEL 13073C0230E, DATED 6/7/19.
- CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
- CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- ALL LANDSCAPING SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.160 OF THE CITY OF GROVETOWN CODE OF ORDINANCE. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL LANDSCAPING REQUIREMENTS ON THE APPROVED SITE PLAN HAVE BEEN IMPLEMENTED.
- ALL LANDSCAPING REQUIREMENTS SET FORTH IN SECTION 6.160 OF THE CITY OF GROVETOWN CODE OF ORDINANCES WILL BE MET BY THE OWNER. LANDSCAPING PLAN WILL BE SUBMITTED UPON DEVELOPMENT OF INDIVIDUAL LOTS.
- DEVELOPERS AND/OR CONTRACTORS ARE RESPONSIBLE TO REMOVE OR CLEAN OUT AND SIFT, DIRT, MUD OR ANY OTHER TYPE OF DEBRIS THAT COMES OFF THEIR SITE AND FINDS ITS WAY INTO A PRIVATE POND OR A COUNTY OWNED POND. THEY ARE RESPONSIBLE TO REMOVE ANY OF THE ABOVE MENTIONED ITEMS THAT COME OFF THEIR SITE ONTO PRIVATE OR COUNTY OWNED PROPERTIES TO INCLUDE RIGHT OF WAY.
- ALL EXTERIOR HEATING, AIR, GAS OR ELECTRICAL UNITS ON THE GROUND OR ON THE ROOF MUST MEET THE CONCEALMENT REQUIREMENTS OF COLUMBIA COUNTY.
- THERE ARE NO KNOWN GRAVE SITES, CEMETERIES OR BURIAL GROUNDS LOCATED ON THIS PROPERTY. SHOULD SUCH SITES BE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR MUST CONTACT THE LOCAL COUNTY HEALTH DEPARTMENT IMMEDIATELY.
- BMPs MUST BE IN PLACE PRIOR TO CLEARING, REGARDLESS OF PLAN REQUIREMENTS OR LOT SIZE. NO GRADING MAY BE DONE UNTIL BMP INSTALLATION IS COMPLETE. CONTRACTOR MUST CONTACT ENGINEERING SERVICE PRIOR TO BEGINNING GRADING ACTIVITIES.
- PRIOR TO THE CERTIFICATE OF OCCUPANCY, THE PROPERTY ADDRESS MUST BE POSTED ON THE STRUCTURE WITH A MINIMUM OF 4" LETTERS OR VISIBLE FROM THE STREET.
- 18" MINIMUM COVER ON TOP AND 24" MINIMUM COVER ON SIDES FOR PIPES.
- ALL CONTRACTORS INSTALLING WATER AND SANITARY SEWER UTILITIES SHALL BE RESPONSIBLE FOR OBTAINING A CURRENT COPY OF THE CITY OF GROVETOWN WATER UTILITY CONSTRUCTION STANDARDS AND SPECIFICATIONS. EACH SUPERINTENDENT OR FOREMAN SHALL HAVE A SET ON SITE AT ALL TIMES.
- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GROVETOWN WATER UTILITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF GROVETOWN WATER UTILITY MAINTENANCE OFFICE TO REQUEST LOCATIONS FOR ALL UNDERGROUND SANITARY SEWER FACILITIES. THE CONTACT NUMBER IS 706-863-4676.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL WATER SEWER SERVICE TAPS DURING CONSTRUCTION OR ADDED FOR THE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING SERVICE TAPS NOT TO BE USED FOR THE DEVELOPMENT OF UPGRADES REQUIRED TO THE EXISTING WATER OR SEWER SERVICES THAT WILL BE USED FOR THE PROPOSED DEVELOPMENT.
- CONTRACTOR IS TO CALL 2811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED BEFORE ANY EARTH MOVING ACTIVITIES SHALL BEGIN.
- "OWNER/DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF TRAFFIC CONTROL DEVICES, TO INCLUDE SIGNS AND MARKINGS, PER THE FEDERAL HIGHWAY ADMINISTRATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, AND COLUMBIA COUNTY'S STREET ID, REGULATORY, WARNING SIGN AND PAVEMENT MARKING POLICY, AND ANY OTHER TRAFFIC CONTROL DEVICES DEEMED APPROPRIATE OR NECESSARY BY COLUMBIA COUNTY TRAFFIC ENGINEERING."

NOTE:
0.28 AC. OF OPEN SPACE ON SITE. 0.28 AC./0.96 AC = 29% OPEN SPACE

NOTE:
TOTAL IMPERVIOUS AREA = 29,805 SQUARE FEET

NOTE:
THERE ARE NO STATE WATERS WITHIN 200' OF THIS SITE.

UTILITY NOTE:
THIS SITE PLAN MAY NOT BE ALTERED OR REVISED IN THE FIELD BY THE PROJECT CONTRACTOR. THE CONSULTING ENGINEER MUST SUBMIT ANY SITE/UTILITY REVISIONS TO CITY OF GROVETOWN WATER DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION OF PROPOSED REVISION(S). FAILURE TO DO SO, SHALL RESULT IN REJECTION OF SAME.

NOTE:
CONFLICTS WITH STORM SEWER AND WATER MAIN OR SANITARY SEWER LINE CROSSINGS SUCH AS REQUIRED COVER FOR WATER MAINS OR MINIMUM DISTANCE BETWEEN PIPES, SHALL RESULT IN THE USE OF DUCTILE IRON PIPE FOR THE WATER MAIN AT THE AREA OF CONFLICT. A MINIMUM OF 1 JOINT DUCTILE IRON PIPE CENTERED OVER CONFLICT IS REQUIRED. ALL SANITARY SEWER DUCTILE IRON PIPE SHALL BE EPOXY LINED.

Construction & Maintenance Narrative

The stormwater facility shall be maintained in accordance with the Maintenance Plan & Schedule. The facility will operate in a dual capacity to remove pollutants and reduce stormwater outflows from the development. Sediment traps will be installed to prevent sediment from leaving site. In addition to the stormwater facility, once paving and building are complete and all areas are stabilized, the FlexStorm filters will be installed in the storm inlets as shown on plan. The pond shall be maintained on a regular basis.

Maintenance Plan & Schedule

Monthly—Perform a visual inspection of complete facility after significant (3.7 inches or greater) rain events over a 24-hour period. During summer months the pond should be evaluated for mosquito infestation. If present, apply a larvicide in briquette form according to manufacturer's recommendations. During growing season mow grass on dam and slopes to reduce weed infestation. FlexStorm filters will be inspected for debris and oil accumulation.

Quarterly—Perform a visual inspection of complete facility. Remove all trash and debris from around & inside the outlet structure. Remove unwanted vegetation along the pond bottom. FlexStorm filters will be inspected for debris and oil accumulation.

Annually—Perform a visual inspection of complete facility. Remove unwanted vegetation from pond bottom, slopes and top of dam. Check outlet discharge area for erosion and repair, if necessary. Check outlet structure and pipe for blockages & remove if any discovered. Make repairs to outlet structure if needed. FlexStorm filters will be inspected for debris and oil accumulation.

Five Years—Perform a visual inspection of complete facility by a registered professional engineer & prepare report of same. Make recommended repairs or improvements. FlexStorm filters will be inspected for debris and oil accumulation and be replaced, if needed.

STORMWATER ANALYSIS		
EXISTING WEIGHTED RUNOFF COMPUTATION		
SURFACE	TOTAL AREA	NET AREA
EXIST. PAVEMENT	6,104 SQ FT @ 1.00	6,104 SQ FT
UNDEVELOPED	35,921 SQ FT @ 0.30	10,776 SQ FT
(TOTAL AREA)	42,025 SQ FT	(NET AREA) 16,880 SQ FT
WEIGHTED COEFFICIENT =	TOTAL AREA = 42,025 SQ FT	NET AREA = 16,880 SQ FT
		WEIGHTED COEFFICIENT = 0.40

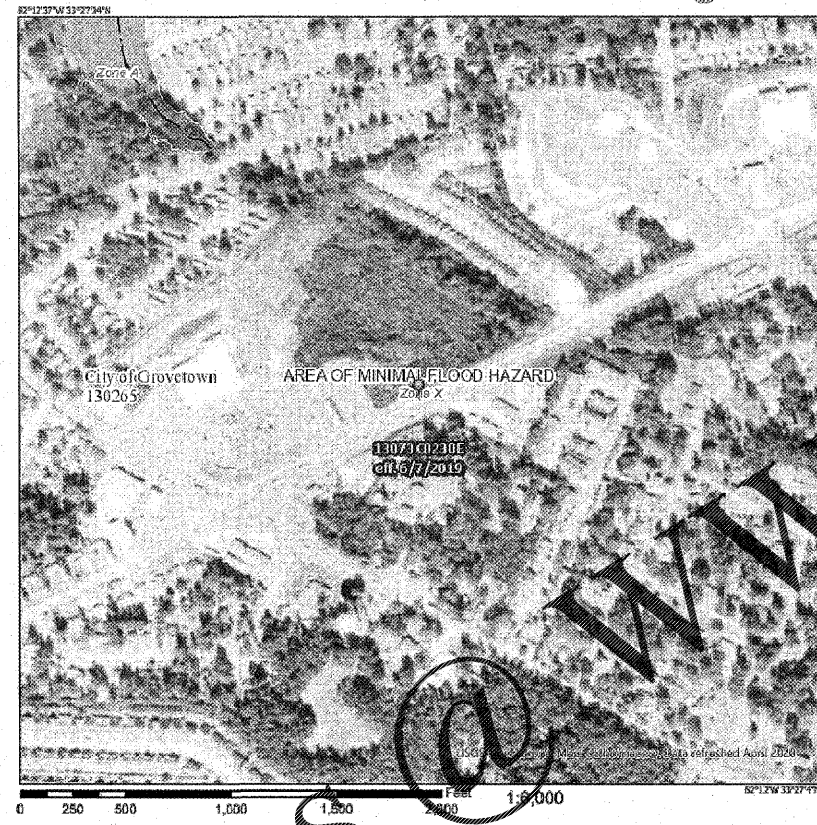
STORMWATER ANALYSIS		
DEVELOPED WEIGHTED RUNOFF COMPUTATION		
SURFACE	TOTAL AREA	NET AREA
EXIST. PAVEMENT	6,104 SQ FT @ 1.00	6,104 SQ FT
PROPOSED BUILDING	5,700 SQ FT @ 1.00	5,700 SQ FT
PROPOSED PAVEMENT	18,001 SQ FT @ 1.00	18,001 SQ FT
UNDEVELOPED	12,220 SQ FT @ 0.30	3,666 SQ FT
(TOTAL AREA)	42,025 SQ FT	(NET AREA) 33,471 SQ FT
WEIGHTED COEFFICIENT =	NET AREA = 33,471 SQ FT	TOTAL AREA = 42,025 SQ FT
		WEIGHTED COEFFICIENT = 0.80

PARKING CALCULATIONS	
MINIMUM SPACES REQUIRED	
TOTAL RESTAURANT AREA = 1,800 SQ.FT.	= 9 SPACES REQ'D
TOTAL RETAIL AREA = 3,900 SQ.FT.	= 11 SPACES REQ'D
TOTAL PARKING SPACES REQUIRED = 20 SPACES	
TOTAL PARKING SPACES PROVIDED = 33 SPACES PLUS 2 H.C.	

PARKING CALCULATIONS	
MAXIMUM SPACES REQUIRED	
TOTAL RESTAURANT AREA = 1,800 SQ.FT.	= 18 SPACES REQ'D
TOTAL RETAIL AREA = 3,900 SQ.FT.	= 19.5 SPACES REQ'D
TOTAL PARKING SPACES REQUIRED = 37.5 SPACES	
TOTAL PARKING SPACES PROVIDED = 33 SPACES PLUS 2 H.C.	

PROJECT DESCRIPTION:
THIS PROPERTY IS LOCATED IN COLUMBIA COUNTY, GEORGIA IN THE 1285TH G.M.D. THE PROPERTY IS CURRENTLY PARTIALLY DEVELOPED. THE PROPOSED USE WILL BE FOR A RETAIL & FOOD ESTABLISHMENT. IMPROVEMENTS WILL INCLUDE PARKING, STORM DRAINAGE, SANITARY SEWER AND WATER SYSTEM. STORM WATER WILL DISCHARGE INTO EXISTING STORM SYSTEM.

National Flood Hazard Layer FIRMette



Legend

Without Base Flood Elevation (BFE)
Zone A, Zone X
Water Main or Depth from A.C. or S.E. or
Regulatory Floodway

SPECIAL FLOOD HAZARD AREAS

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile.
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Flood Risk due to Levee, Sea Wall, etc.
- Area with Flood Risk due to Levee, etc.

OTHER AREAS OF FLOOD HAZARD

- Area of Minimal Flood Hazard
- Effective LOMRA
- Area of Undetermined Flood Hazard

OTHER AREAS

- Channel, Culvert, Storm Sewer
- Levee, Dike, or Flood Wall

GENERAL STRUCTURES

- Area Sections with 1% Annual Chance
- Water Surface Elevation
- Channel Transverse
- Open Flood Elevation Line
- Line of Study
- Justification Boundary
- Unjustified Transverse
- Baseline
- Hydrographic Profile

FEATURES

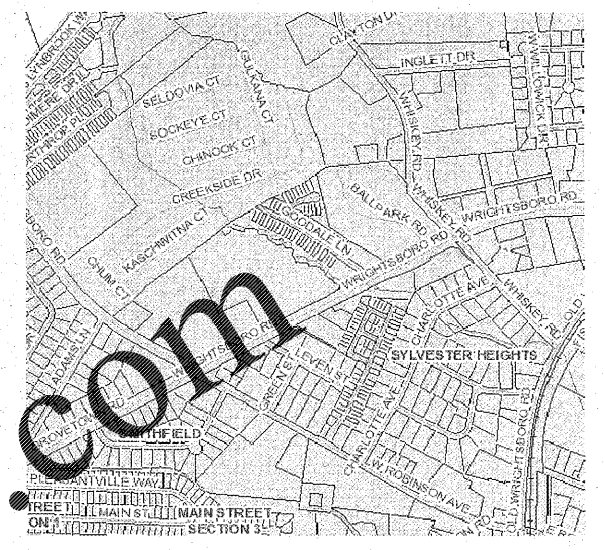
- Digital Data Available
- No Digital Data Available
- Unmapped

The site displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not used as described below. The base map shown complies with FEMA's base map accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 02/22/2020 at 9:52 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is valid if the one or more of the following map elements do not appear: base map imagery, flood as no labels, legend, scale bar, map creation date, coordinate identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmaintained areas cannot be used for regulatory purposes.



PROJECT DATA

OWNER AND DEVELOPER:
Dunkin' Donuts / Baskin Robbins
C/O PETE PATEL
706-284-5651
4366 WASHINGTON RD
EVANS, GA 30009
EMAIL: augustadobr@gmail.com

24-HR. GSWCC CONTACT:
G.F. "BO" SLAUGHTER
GSWCC CERTIFICATION 0000017038
EXPIRES: 9/15/21
PHONE: (706) 868-8803

PRESENT ZONING: CC2

PROJECT AREA: 0.96 AC.

DISTURBED AREA: 0.82 AC.

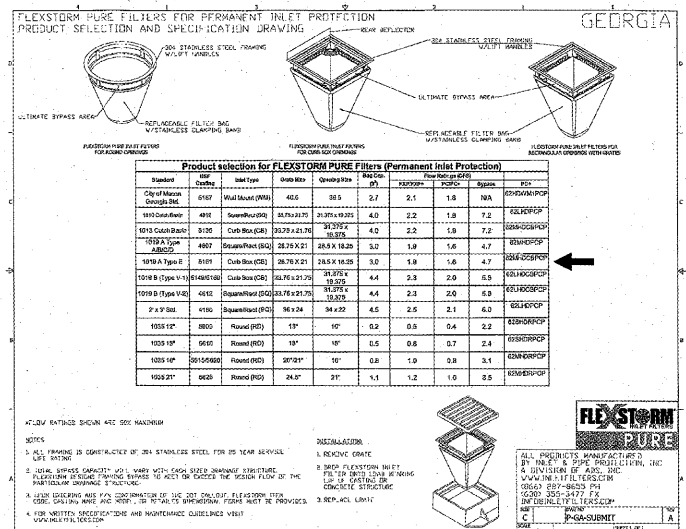
TAX MAP: PORTION OF G01 0048

RECEIVING BODY OF WATER: EUCHEE CREEK

SHEET INDEX

COVER SHEET	1
SITE PLAN	2
LANDSCAPING PLAN	3
DETAIL SHEET	4-5

NOTE:
FILTER WILL BE INSTALLED IN ALL DROP INLETS.



"I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA,' (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001."

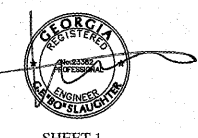
"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY SUPERVISION."

GARNETT F. "BO" SLAUGHTER
GA. SOIL AND WATER CONSERVATION COMMISSION
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 0000017038
ISSUED: 09/15/2006 EXPIRES: 09/15/2021

DATE: 12/1/20

REVIEWED FOR COMPLIANCE
THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH CONSTRUCTION STANDARDS. THE REVIEW DOES NOT RELIEVE THE CONTRACTOR OR DEVELOPER OF ANY RESPONSIBILITY FOR CONFORMANCE WITH THIS DRAWING, PROJECT SPECIFICATIONS, AND COLUMBIA COUNTY CONSTRUCTION STANDARDS AND COMMENCEMENT OF CONSTRUCTION.

G.F. "BO" SLAUGHTER
LEVEL II CERTIFICATION NUMBER: 0000017038
ISSUED: 9/15/18 EXPIRES: 9/15/21



COVER SHEET FOR

DUNKIN DONUTS

PROPERTY LOCATED IN THE 1285TH G.M.D.

COLUMBIA COUNTY GEORGIA

SCALE: 1" = 20'

SEPTEMBER 22, 2020

PREPARED BY:
JAMES G. SWIFT & ASSOCIATES
CONSULTING ENGINEERS
1206 INTERSTATE PARKWAY - AUGUSTA, GA. - 30909
Phone: (706) 868-8803 Fax: (706) 868-5464
TAX MAP: PARCEL NO. 20-217-07