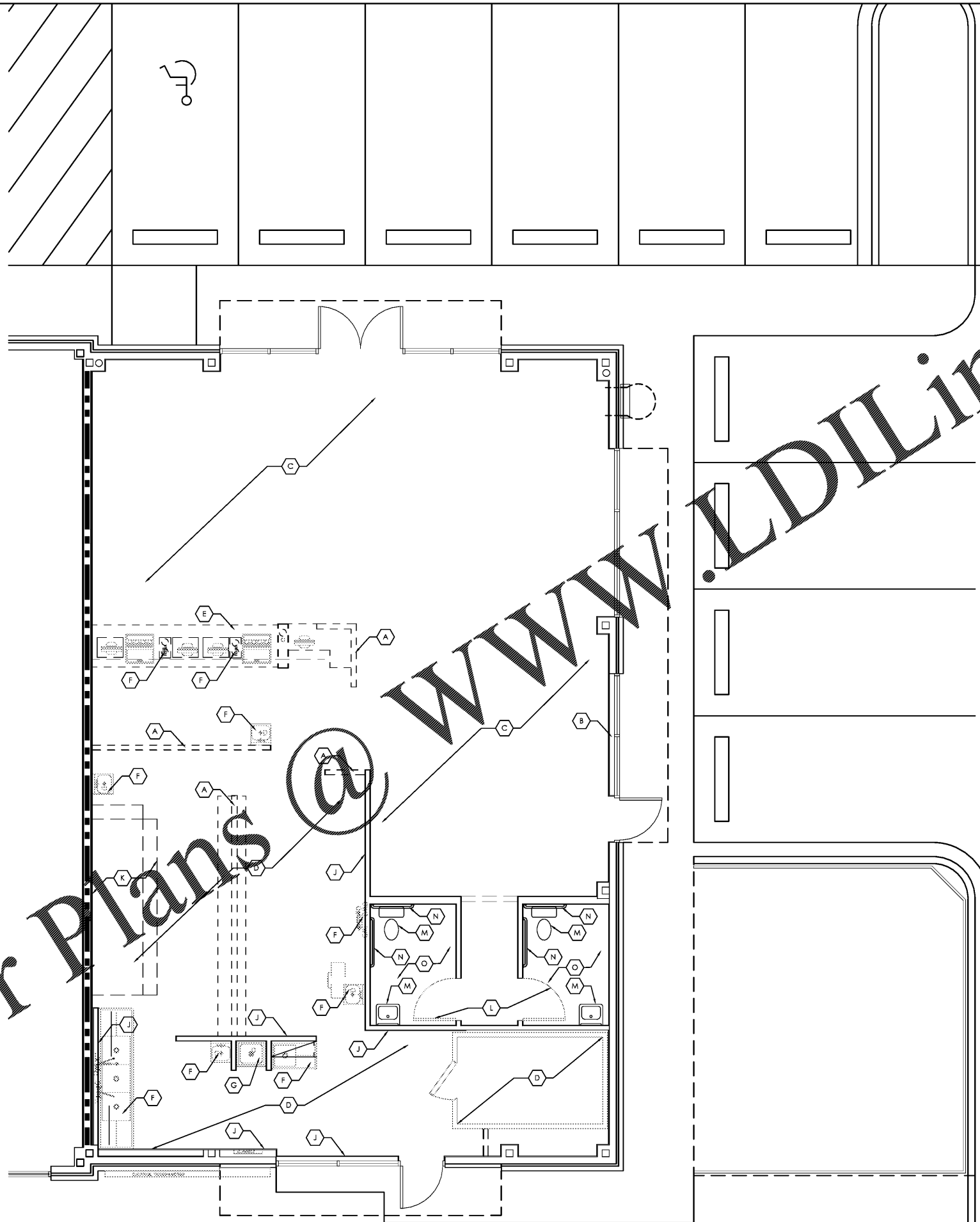


ALL DESIGNS, DRAWINGS AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE THE PROPERTY OF D3 STUDIO, P.L.L.C. ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS. COPYRIGHT 2021



Order Plans @

DEMOLITION NOTES:

1. REMOVE ALL ITEMS AS INDICATED BY DASHED LINES ON PLANS.
2. CARE SHALL BE TAKEN DURING DEMOLITION SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCLOSED DURING DEMOLITION.
3. IN ALL WALLS AND CEILINGS THAT ARE REMOVED THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REROUTE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
4. ALL ELECTRICAL CIRCUITS FOR EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED AT SOURCE AND REMOVED.
5. ALL GAS, WATER AND DRAIN LINES SUPPLYING EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED, REMOVED AND CAPPED ABOVE CEILING OR BELOW FLOOR. IT SHALL RE ROUTE AS NECESSARY TO BE BEHIND NEW CONSTRUCTION. (PATCH FLOOR BACK PRIOR TO TOPPING.)
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND TOPPING IN A PROPER MANNER FROM THE SITE ALL RUBBING AND DAMAGES CAUSED BY DEMOLITION.
7. REMOVE OR RELOCATE ANY SPOOLS/SEWER/PLUMBING LINES AS REQUIRED IN FIELD PER OWNER'S AND/OR LOCAL AGENCY APPROVALS.
8. GENERAL CONTRACTOR TO COORDINATE WITH THE OWNER AND ARCHITECT AS TO THE DISPOSAL OF ALL ITEMS REMOVED.
9. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS, AS REQUIRED TO RECEIVE NEW FINISHES.
10. GENERAL CONTRACTOR TO PROVIDE BLOCKING AS NECESSARY FOR ALL MILLWORK & FIXTURES.
11. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. REPORT ANY DISCREPANCIES BACK TO THE ARCHITECT BEFORE DEMOLITION BEGINS.

KEYED NOTES:

- A EXISTING GYPSUM BOARD PARTITIONS, FASTENERS, AND ACCESSORIES TO BE REMOVED - FULL HEIGHT. VACATE AND CAP OR TEMPORARILY STUB OFF ELECTRICAL AND MECHANICAL DEVICES (PER NEC/ASME REQUIREMENTS); PATCH DAMAGE AT EXISTING TO REMAIN.
- B REMOVE EXISTING GYPSUM BOARD PARTITION IN FRONT OF EXISTING STOREFRONT UP TO TOP OF STOREFRONT.
- C DEMO FLOOR TILE IN ITS ENTIRETY (WITH THE EXCEPTION OF THE RESTROOM FLOOR TILE) AND GRIND DOWN GROUT, PREPARE FLOOR FOR POLISHED CONCRETE FINISH. RESTROOM TILE TO REMAIN.
- D DEMO KITCHEN QUARRY TILE AND PREPARE FLOOR FOR NEW QUARRY TILE INSTALLATION. VERIFY WITH OWNER IF WANT TO KEEP ANY OF THE EXISTING QUARRY TILE INTACT.
- E REMOVE EXISTING MILLWORK IN ITS ENTIRETY AND ANY EXISTING EQUIPMENT FROM EXISTING RESTAURANT. CAP AND STUB OFF ANY PLUMBING AND ELECTRICAL AS REQUIRED.
- F REMOVE EXISTING KITCHEN EQUIPMENT AND DISPOSE OF OFF SITE.
- G EXISTING MOP SINK TO REMAIN AND CLEANED UP FOR RE-USE.
- H EXISTING MOP SINK TO REMAIN AND CLEANED UP FOR RE-USE.
- J REMOVE EXISTING FRP AND GYPSUM BOARD FROM KITCHEN WALLS AND DISPOSE OF OFF SITE.
- K KITCHEN HOOD TO REMAIN - TO BE RELOCATED AS SHOWN ON EQUIPMENT PLAN. VERIFY WITH OWNER IF WANT TO SALVAGE STAINLESS STEEL ON WALL BELOW HOOD AND RELOCATE.
- L EXISTING DOOR, FRAME, HARDWARE AND THRESHOLD TO REMAIN.
- M EXISTING RESTROOM FIXTURES TO REMOVED AND DISPOSED OF OFF SITE.
- N RESTROOM GRAB BARS TO REMAIN - PROTECT DURING CONSTRUCTION.
- O EXISTING RESTROOM FLOOR & WALL TILE TO REMAIN. TERMINATE AT CENTER OF DOOR THRESHOLD AND ADD TRANSITION STRIP FROM EXISTING RESTROOM TILE TO NEW STAINED CONCRETE FLOOR. SCHLUTER OR EQUAL.

d3 studio
 PLANNING * ARCHITECTURE * INTERIORS
 1318 CENTRAL AVENUE :: SUITE A-10
 CHARLOTTE, N.C. 28205
 WEBSITE :: WWW.D3STUDIO.COM



FOR CONSTRUCTION

Viva Chicken.
 PERUVIAN ROTISSERIE JOINT
 1139 WOODRUFF RD.
 -SUITE B
 GREENVILLE, SC
 29607

REVISION		
no.	date	comment

DRAWN BY: JWT
 CHECKED BY: SFB
 SUBMITTAL DATE: 02.09.2021
 PROJECT NUMBER: 02-2031

DEMOLITION PLAN

D1.0