

# 7-ELEVEN SE MARICAMP RD - MAJOR SITE PLAN

## CONSTRUCTION NOTES:

- REPRODUCTION OF THESE PLANS ARE NOT VALID UNLESS SIGNED & SEALED BY THE SURVEYOR AND ENGINEER IN RESPONSIBLE CHARGE. VALID PLANS MUST BE SIGNED AND SEALED WITH RAISED EMBOSSED SEALS. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND THE PROFESSIONAL ENGINEER WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.
- CHANGES TO THESE PLANS ARE NOT VALID UNLESS PRIOR APPROVAL IS RECEIVED FROM BOTH THE APPROPRIATE GOVERNMENT AGENCIES AND THE PROJECT ENGINEER.
- EXISTING IMPROVEMENTS ON THE SITE ARE AS SHOWN ON THE SURVEY. ALL EXISTING IMPROVEMENTS MAY NOT BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM A SITE INVESTIGATION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES OR FINDINGS TO THE PROJECT ENGINEER AND SURVEYOR. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION AND SHALL REMAIN IN DIRECT CONTACT WITH THE UTILITY COMPANIES THROUGHOUT THE ENTIRE PROJECT. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, THE MARION COUNTY WATER & SEWER CONSTRUCTION MANUAL, AND THE SAINT JOHN'S WATER MANAGEMENT DISTRICT REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN CERTIFIED AS-BUILT DRAWINGS FROM A LICENSED SURVEYOR. THE CONTRACTOR SHALL SUBMIT THE AS-BUILT DRAWINGS TO THE PROJECT ENGINEER ONCE ALL CONSTRUCTION IS COMPLETED.
- AFTER AND/OR DURING THE CLEARING AND GRUBBING PHASE OF THE SITE, A BURN PERMIT MUST BE OBTAINED IF BURNING IS TO TAKE PLACE ON-SITE.
- ALL DRAINAGE FACILITIES MUST BE COMPLETED AND INSTALLED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS. THE DRAINAGE RETENTION AREAS SHALL BE EXCAVATED TO WITHIN 1 FOOT OF THE PROPOSED BOTTOM. AFTER CONSTRUCTION OF THE ROADS IS COMPLETE AND PRIOR TO FINAL SODDING OF THE DRAINAGE RETENTION AREA, THE DRAINAGE RETENTION AREA SHALL BE EXCAVATED TO THE DESIGN BOTTOM ELEVATION. SOIL AT THE BOTTOM OF THE DRAINAGE RETENTION AREA SHALL BE UNDISTURBED AND OF SUITABLE MATERIAL.
- ALL EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION. TYPE III SILT FENCE SHALL BE INSTALLED ALONG APPROPRIATE DOWNSTREAM SIDE OF THE CONSTRUCTION BOUNDARIES PRIOR TO ANY SITE DEVELOPMENT. THE SILT FENCE SHALL BE INSPECTED AT LEAST TWICE A WEEK OR AFTER EACH STORM EVENT IN ORDER TO ENSURE PROPER FUNCTION. THE PROPOSED SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENT OF EROSION, SEDIMENTATION, DEBRIS OR DUST OCCURRING ON-SITE OR OFF-SITE SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
- IF A SINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES REQUIRED BY THE WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE FOLLOWED. THE PROJECT ENGINEER, WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE NOTIFIED IMMEDIATELY FOR REPAIR PROCEDURES.
- IF DURING ROAD CONSTRUCTION ANY UNSUITABLE MATERIALS ARE ENCOUNTERED, A MINIMUM OF TWO FEET OF UNDERCUT WILL BE REQUIRED FROM THE BOTTOM OF THE LIMEROCK BASE. THE BACK-FILL MATERIAL SHALL BE OF SUITABLE MATERIAL. THE CONTRACTOR MUST CONTACT THE PROJECT ENGINEER PRIOR TO UNDERCUTTING.
- THE ROAD CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL APPLICABLE UTILITY COMPANY CONSTRUCTION AND INSTALLATION. THE CONTRACTOR MUST ASSURE THAT ALL UTILITY CONDUIT, CROSSINGS, AND NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES SUCH AS POTABLE WATER, SANITARY SEWER, AND STORMWATER FACILITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL VEHICULAR & PEDESTRIAN ACCESS IS MAINTAINED IN A SAFE AND OPERABLE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONUMENTATION (TEMPORARY OR PERMANENT) & CONSTRUCTION STAKING MISPLACED OR DESTROYED DUE TO THE CONTRACTOR'S CONSTRUCTION. THE CONTRACTOR SHALL REPLACE ALL STAKING & MONUMENTATION (TO BE DONE BY A LICENSED SURVEYOR) AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL COORDINATE WITH THE DEVELOPER ANY SLEEVING REQUIREMENTS IN THE ROADWAYS FOR IRRIGATION LINES AND/OR OTHER UTILITIES.
- ALL QUALITY CONTROL & DENSITY TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TESTING.
- ALL SUITABLE MATERIAL SHALL BE STOCKPILED ON-SITE AT A LOCATION DETERMINED BY THE PROJECT ENGINEER AND/OR DEVELOPER. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF-SITE UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER AND/OR DEVELOPER.
- ANY WORK PROPOSED IN THE COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT. THE RIGHT OF WAY PERMIT MUST BE OBTAINED FROM THE MARION COUNTY ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ANY CONSTRUCTION IN THE RIGHT OF WAY SHALL CONFORM TO CONSTRUCTION STANDARDS CONTAINED IN:
  - THE MARION COUNTY LAND DEVELOPMENT REGULATIONS FOR MATERIAL REQUIREMENTS & QUALITY CONTROL.
  - THE FOOT ROADWAY & TRAFFIC DESIGN STANDARDS &
  - FOOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, (UNLESS OTHERWISE SPECIFIED IN THESE PLANS).
- ALL AREAS DISTURBED IN THE CONSTRUCTED RIGHT OF WAY SHALL BE RESTORED AND SODDED. ALLOW FOR SOD WITH A 2" UNDERCUT. OTHER AREAS DISTURBED AFTER CONSTRUCTION SHALL BE GRASSED, UNLESS SOD IS SPECIFICALLY PROPOSED.
- TRAFFIC CONTROL & DEVICES IMPLEMENTED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH:
  - THE MARION COUNTY LAND DEVELOPMENT REGULATIONS
  - FOOT MANUAL OF TRAFFIC CONTROLS AND SAFE PRACTICES FOR STREET & HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS &
  - FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION
- ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, AND IN CONFORMANCE WITH ALL APPLICABLE FDOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATIONS". TRAFFIC PAINT SHALL BE FDOT CODE 1-1, 1-2 AND HIGH INTENSITY THERMOPLASTIC.
- THE UTILITIES CONTRACTORS SHALL BE RESPONSIBLE FOR ACQUIRING ANY CONSTRUCTION PERMITS NECESSARY PRIOR TO CONSTRUCTION. UTILITY COMPANIES SHALL SUBMIT TO THE PROJECT ENGINEER FOR APPROVAL. A WRITTEN REQUEST TO UTILIZE ANY EASEMENTS SHOWN ON THESE PLANS OR IN AREAS NOT PRESENTLY DESIGNATED AS A UTILITY EASEMENT, PRIOR TO CONSTRUCTION.
- THE MINIMUM STRENGTH FOR ANY CONCRETE CONSTRUCTION SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED ON THESE PLANS.
- EXISTING TREES TO REMAIN SHALL HAVE ANY LOW LIMBS TRIMMED TO ALLOW AERIAL CLEARANCE FOR VEHICLES AND/OR AERIAL UTILITIES. REFER TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTIONS 110-2.3 AND 110-3. AERIAL UTILITIES SHALL BE 18" MINIMUM ABOVE CENTERLINE GRADE OF ROAD.
- AREAS AROUND ANY PROPOSED PIPE ENDS SHALL BE FINISH GRADED AND SODDED FOR 5' MINIMUM IN ALL DIRECTIONS OR AS SPECIFIED ON THESE PLANS. SWALE ELEVATION TRANSITIONS TO PIPE ENDS SHALL BE 25 FEET UNLESS OTHERWISE SHOWN ON PLAN-PROFILES.
- CONTRACTOR MUST CLEAN OUT ALL PROPOSED CROSS DRAINS AFTER PLACEMENT OF SOD OR GRASS AND MULCH.
- DELINEATORS ARE TO BE LOCATED AT EACH END OF CROSS DRAINS. MINIMUM INSTALLATION SHALL BE 2' MINIMUM AND 6' MAXIMUM FROM OUTSIDE EDGE OF SHOULDER. TOP DELINEATOR SHALL NOT BE LESS THAN 4" ABOVE FINISH GRADE.

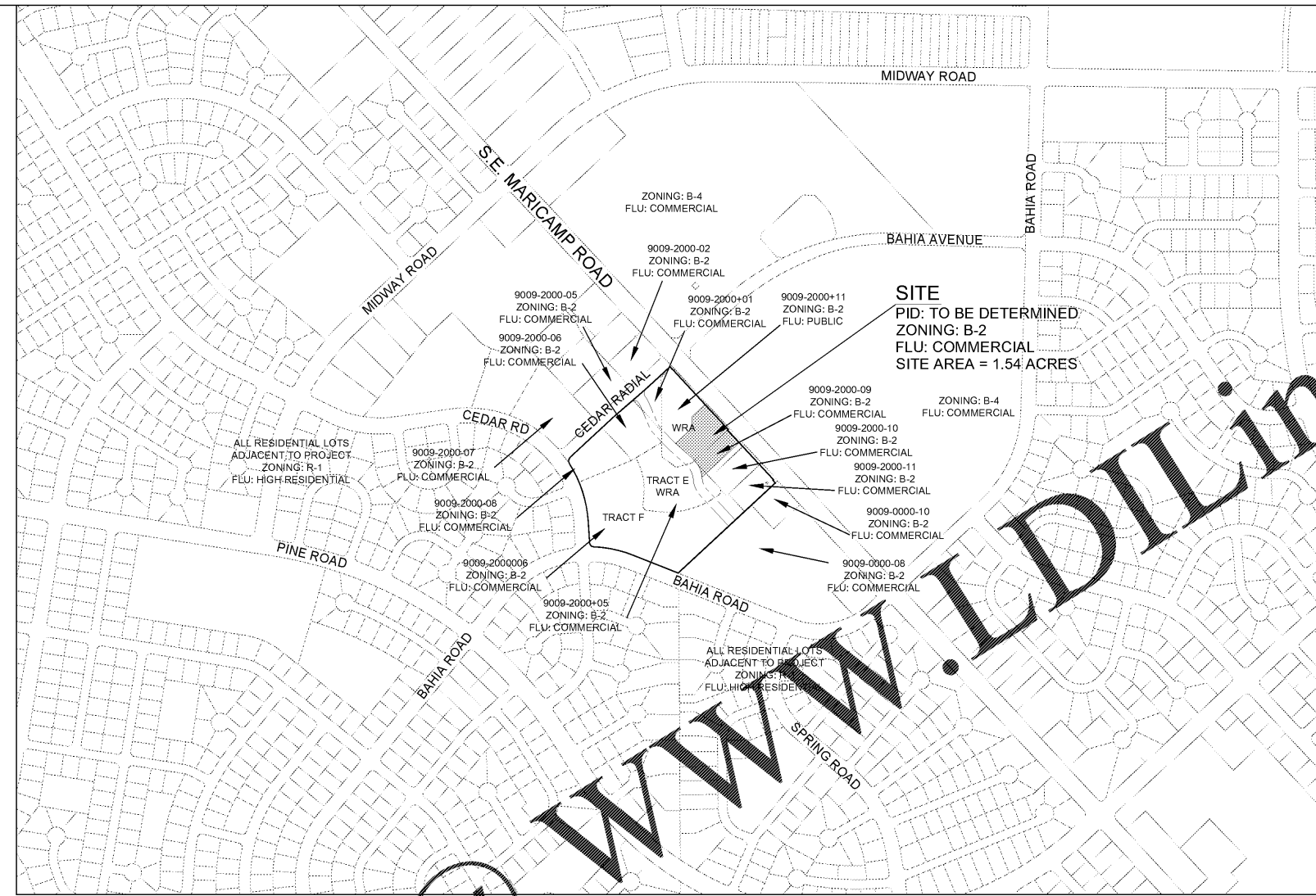
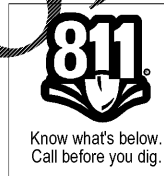
## UTILITIES SERVICE PROVIDERS:

- POWER (DUKE ENERGY) (800) 694-8808
- TELEPHONE (CENTURYLINK) (352) 401-6555
- CABLE (COMCAST) Scott\_Osbold@cable.comcast.com
- GAS (TECO) (407) 420-2678
- WATER & SEWER (MARION COUNTY) (352) 307-0900

## SUNSHINE STATE

### ONE CALL

CALL BEFORE YOU DIG  
1-800-434-7770



**LOCATION MAP**  
SEC. 8, TWP. 16, RGE. 23  
MARION COUNTY, FLORIDA

## SITE DATA:

PROJECT NAME: 7-ELEVEN SE MARICAMP ROAD  
PROJECT LOCATION: Ocala, FL, SEC. 8, TWP. 16, RGE. 23  
P.I.D.: TO BE REDESIGNED BY COUNTY  
OWNER: JOHN S. RUDNIANYN, AGENT  
ADDRESS: SE MARICAMP ROAD AND CEDAR RADIAL  
SITE AREA: 107,007 S.F. = 2.43 ACRES +/-  
CURRENT ZONING: B-2  
CURRENT LAND USE: COMMERCIAL  
BUILDING SETBACKS: 10' FRONT, 10' SIDE, 25' REAR  
BUILDING USE: CONVENIENCE STORE WIGAS PUMPS  
BUILDING F.A.R.: 0.08 (5,647 SF)

## DATA BLOCK OF SITE COVERAGE:

(ONSITE COVERAGE ONLY)  
EXISTING COVERAGE:  
SITE IS CURRENTLY VACANT. 67,007 S.F. (100%)  
PROPOSED COVERAGE:  
PROPOSED BUILDINGS: 5,647 S.F. (8.43%)  
PROPOSED CONCRETE: 12,660 S.F. (18.89%)  
PROPOSED PAVEMENT: 34,674 S.F. (51.75%)  
TOTAL PROPOSED IMPERVIOUS: 52,981 SF (78.07%)  
OPEN SPACE: 14,026 SF (20.93%)

## D.R.I. ADVISORY NOTE:

DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SILVER SPRINGS SHORES VESTED DRI AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.

## DRAINAGE CONSTRUCTION SPECIFICATION:

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE PROJECT ENGINEER AND THE OFFICE OF THE COUNTY ENGINEER.

## CONCURRENCY NOTE:

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

## TRAFFIC TRIP GENERATION NOTE:

TRAFFIC GENERATION RATES ARE BASED ON THE ITE 10th EDITION, CODES 853, CONVENIENCE MARKET W/ GAS PUMPS.  
AVERAGE VEHICLE TRIP ENDS VS. 1,000 S.F. G.F.A.  
BUILDING AREA = 4,667 S.F./1,000 = 4.667  
TRIP GENERATION = 4.667 (AVG. RATE) X 62420 = 2,914 TRIPS/DAY  
AM PEAK HOUR = 4.667 (AVG. RATE) X 40.59 = 189 TRIPS/HOUR  
PM PEAK HOUR = 4.667 (AVG. RATE) X 49.29 = 230 TRIPS/HOUR

## GENERAL NOTES:

- THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY R.M. BARRINEAU & ASSOCIATES, INC.
- TREE SURVEY WAS PROVIDED BY R.M. BARRINEAU & ASSOCIATES, INC.
- COPIES OF PERMITS FROM ALL APPROPRIATE AGENCIES SHALL BE PROVIDED ONCE APPROVAL IS OBTAINED FROM SUCH AGENCIES.
- ALL ROADSPAVEMENT IN THIS SITE WILL BE DESIGNED FOR ELEVATIONS ABOVE THE 100YR/24HR MAXIMUM STAGE ELEVATION OF ADJACENT LOW LYING AREAS.
- A TRAFFIC STUDY IS NOT REQUIRED (SEE TRAFFIC STATEMENT).
- ALL LANDSCAPING SHALL COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- THE DEVELOPER SHALL CONSTRUCT, LANDSCAPE, IMPROVE, AND MAINTAIN ALL OF THE COMMON AREAS AND GREEN SPACE AS SHOWN ON THESE PLANS.
- THE REQUIRED BUFFERS AND SETBACKS ARE AS SPECIFIED IN THESE PLANS.
- MASTROSERIO ENGINEERING, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- AN "AS-BUILT" CERTIFICATION WILL BE REQUIRED BY THE PROJECT ENGINEER AND ALL REGULATORY REVIEW AGENCIES INVOLVED IN THIS PROJECT.
- AT THE END OF THE PROJECT CONSTRUCTION, THE PROJECT ENGINEER SHALL PROVIDE TO THE APPROPRIATE AGENCIES, AN ELECTRONIC FILE CONTAINING THE PROJECT DEVELOPMENT PLANS IN AUTOCAD FORMAT.

## WATER AND SEWER NOTES:

- WATER SUPPLY SHALL BE PROVIDED VIA A CONNECTION TO AN EXISTING WATER SERVICE. THE DISTRIBUTION SYSTEM SHALL BE INSTALLED AT THE DEVELOPERS EXPENSE.
- SEWAGE COLLECTION SHALL BE PROVIDED VIA A CONNECTION TO AN 8" SANITARY SEWER SERVICE ON CEDAR RADIAL PASS. THE ON-SITE COLLECTION SYSTEM SHALL BE INSTALLED AT THE DEVELOPERS EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDEP & DEPARTMENT OF HEALTH.
- WATER USAGE = 500 GPD
- SEWER USAGE = 400 GPD

## PROPERTY INFORMATION:

- PROJECT IS LOCATED IN THE SOUTHEASTERN SECTION OF MARION COUNTY, FLORIDA.
- THE PROPERTY IS PRESENTLY ZONED B-2.
- THIS PROJECT SHALL BE DEVELOPED BY JOHN S. RUDNIANYN, TRUSTEE.

## PROJECT AREA & GENERAL PURPOSE NOTE:

THE OVERALL SITE AREA IS 1.54 ACRES WITH A PROPOSED PROJECT AREA OF APPROXIMATELY 2 ACRES.

THE PROPOSED DEVELOPMENT ON THIS SITE WILL BE THE CONSTRUCTION OF 2,250 S.F. CONVENIENCE STORE WITH GAS PUMPS, A 900 S.F. CAR WASH BUILDING AND 47,334 S.F. PAVEMENT AND ASSOCIATED IMPERVIOUS AREAS AND INFRASTRUCTURE TO SERVE THE DEVELOPMENT.

## SPRINGS PROTECTION ZONE NOTE:

THIS SITE LIES WITHIN THE PRIMARY SPRINGS PROTECTION ZONE.

## SITE LIGHTING NOTE:

ALL PROPOSED EXTERIOR LIGHTING SHALL BE SHIELDED AND COMPLIANT WITH LDC SEC. 6.19 OUTDOOR LIGHTING.

## INDEX OF SHEETS:

- C01 TITLE SHEET
- C02 GENERAL NOTES
- C03 EROSION CONTROL
- C04 SITE & GEOMETRY PLAN
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- C07 UTILITY PLAN
- C08 MARICAMP ROAD TURN LANE DETAILS
- C10 MARICAMP ROAD CROSS SECTIONS
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- I002 IRRIGATION DETAILS
- L001 LANDSCAPE PLAN
- L002 LANDSCAPE DETAILS

## WAIVERS REQUESTED:

CODE REFERENCE	DESCRIPTION	STATUS	CONDITIONS	DATE

DATE:	REVISION DESCRIPTION:	SCALE: 1"=200'	MASTROSERIO ENGINEERING, INC. CA# 26159 170 SE 32ND PLACE OCALA, FL 34471 PH: (352)433-2185 PAOLO@MASTROSERIOENG.COM	DRAWING FILE:	DESIGNED BY: PM	ENGINEER'S CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED. THE DRIVEWAY ACCESS MEETS FDOT SIGHT DISTANCE REQUIREMENTS.  ENGINEER: PAOLO MASTROSERIO, P.E. 58691 C.A. #26159 170 SE 32ND PLACE OCALA, FL 34471 PHONE: (352) 622-9101	OWNER'S CERTIFICATION: I HEREBY CERTIFY THAT I, MY SUCCESSORS AND/OR ASSIGNS SHALL PERPETUALLY MAINTAIN THE SITE & DRAINAGE IMPROVEMENTS AND ANY APPLICABLE OFFSITE IMPROVEMENTS AS SHOWN ON THESE PLANS.  OWNER: JOHN S. RUDNIANYN, AGENT ALBERT PEEK TRUSTEE 2441 NE 3RD ST STE 201 OCALA FL 34470 TELEPHONE: (352) 629-6101 CONTACT: JOHN RUDNIANYN, AGENT	7-ELEVEN SE MARICAMP RD - MAJOR SITE PLAN MARION COUNTY, FLORIDA, SEC. 21, TWP. 16, RGE. 21	JOB#: 20-05
					TITLE		DRAWN BY: WPD	CHECKED BY: PM	DATE: