

REVISIONS	BY

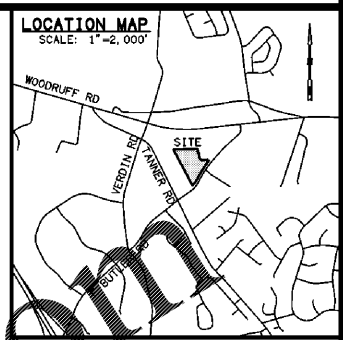
**FREELAND and KAUFFMAN, INC.**  
 Engineers & Landscape Architects  
 209 West Stone Avenue  
 Greenville, South Carolina 29609  
 864-233-5497

**NO BID SET FOR CONSTRUCTION**



**CALIBER COLLISION**  
 1238 E. BUTLER ROAD  
 GREENVILLE, SC 29607  
 CROSS DEVELOPMENT CC FIVE FORKS, LLC.  
 4536 MARGH RIDGE  
 CARROLLTON, TX 75010  
 TEL: (214) 614-8252

DRAWN	
BY	
CHECKED	
TIME	
DATE	
01/04/2021	
SCALE	
DRAWING	



**LEGEND**

SYMBOL	DESCRIPTION
○	BOLLARD
♿	HANDICAPPED SYMBOL
⑤	NUMBER OF PARKING SPACES
□	SITE SIGNAGE
—	6' SECURITY FENCE
▨	CONCRETE PAVING/SIDEWALK
▩	HEAVY DUTY CONCRETE
▧	SCODOT CONCRETE
▦	HEAVY DUTY ASPHALT*
▤	STANDARD DUTY ASPHALT*
—	PAINTED STOP LINE
- - -	SAWCUT LINE

\* COORDINATE W/ GEOTECH OF RECORD FOR PAVEMENT SECTION RECOMMENDATIONS

**PAINTING STRIPS LEGEND**

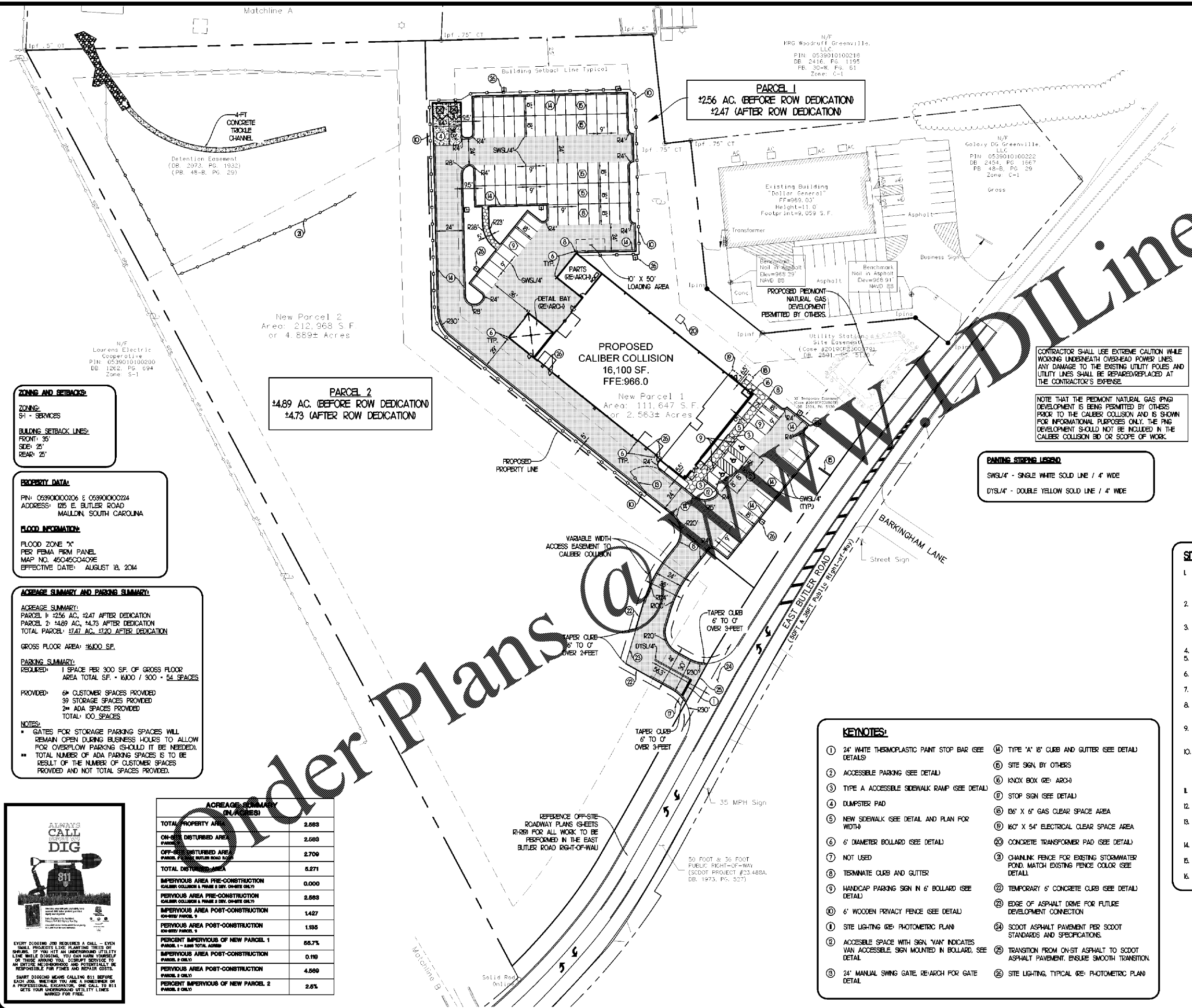
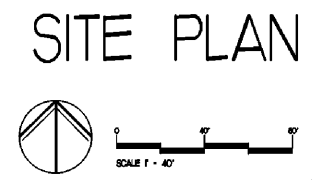
SWSL/4' - SINGLE WHITE SOLID LINE / 4' WIDE  
 DYSL/4' - DOUBLE YELLOW SOLID LINE / 4' WIDE

CONTRACTOR SHALL USE EXTREME CAUTION WHILE WORKING UNDERNEATH OVERHEAD POWER LINES. ANY DAMAGE TO THE EXISTING UTILITY POLES AND UTILITY LINES SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

NOTE THAT THE FREMONT NATURAL GAS (PNG) DEVELOPMENT IS BEING PERMITTED BY OTHERS PRIOR TO THE CALIBER COLLISION AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE PNG DEVELOPMENT SHOULD NOT BE INCLUDED IN THE CALIBER COLLISION BID OR SCOPE OF WORK.

- SITE NOTES:**
- CONTRACTOR SHALL REFER TO THE CALIBER COLLISION ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, AND FOR THE EXACT LOCATION OF UTILITY ENTRANCES, ROOF LEADERS, EXIT DOORS, EXIT STOOPS, ETC.
  - ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, CENTERLINE OF PARKING, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
  - ALL STRIPING SHALL BE WHITE, 4" WIDE, UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE MONUMENT SIGN WITH CALIBER COLLISION.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
  - ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF MAULDIN REGULATIONS AND CODES AND OSHA STANDARDS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS NOTED OTHERWISE.
  - EXISTING SITE IMPROVEMENTS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
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- KEYNOTES:**
- |  |  |
|--|--|
| ① 24" WHITE THERMOPLASTIC PAINT STOP BAR (SEE DETAILS)   | ⑭ TYPE "A" 18" CURB AND GUTTER (SEE DETAIL)  |
| ② ACCESSIBLE PARKING (SEE DETAIL)  | ⑮ SITE SIGN BY OTHERS  |
| ③ TYPE A ACCESSIBLE SIDEWALK RAMP (SEE DETAIL)   | ⑯ KNOX BOX (RE-ARCH)   |
| ④ DUMPSTER PAD   | ⑰ STOP SIGN (SEE DETAIL)   |
| ⑤ NEW SIDEWALK (SEE DETAIL AND PLAN FOR WIDTH)   | ⑱ 36" X 6" GAS CLEAR SPACE AREA  |
| ⑥ 6" DIAMETER BOLLARD (SEE DETAIL)   | ⑲ 160" X 54" ELECTRICAL CLEAR SPACE AREA   |
| ⑦ NOT USED   | ⑳ CONCRETE TRANSFORMER PAD (SEE DETAIL)  |
| ⑧ TERMINATE CURB AND GUTTER  | ㉑ CHARLINK FENCE FOR EXISTING STORMWATER POND, MATCH EXISTING FENCE COLOR (SEE DETAIL) |
| ⑨ HANDICAP PARKING SIGN IN 6" BOLLARD (SEE DETAIL)   | ㉒ TEMPORARY 6" CONCRETE CURB (SEE DETAIL)  |
| ⑩ 6' WOODEN PRIVACY FENCE (SEE DETAIL)   | ㉓ EDGE OF ASPHALT DRIVE FOR FUTURE DEVELOPMENT CONNECTION                              |
| ⑪ SITE LIGHTING (RE: PHOTOMETRIC PLAN)   | ㉔ SCODOT ASPHALT PAVEMENT PER SCODOT STANDARDS AND SPECIFICATIONS.                     |
| ⑫ ACCESSIBLE SPACE WITH SIGN, VAN INDICATES VAN ACCESSIBLE SIGN MOUNTED IN BOLLARD, SEE DETAIL | ㉕ TRANSITION FROM ON-ST ASPHALT TO SCODOT ASPHALT PAVEMENT, ENSURE SMOOTH TRANSITION.  |
| ⑬ 24" MANUAL SWING GATE, RE-ARCH FOR GATE  | ㉖ SITE LIGHTING, TYPICAL (RE: PHOTOMETRIC PLAN) DETAIL                                 |



**ZONING AND SETBACKS:**  
 ZONING: S1 - SERVICES  
 BUILDING SETBACK LINES:  
 FRONT: 35'  
 SIDE: 25'  
 REAR: 25'

**PROPERTY DATA:**  
 PIN: 05390100206 & 05390100224  
 ADDRESS: 123 E. BUTLER ROAD  
 MAULDIN, SOUTH CAROLINA

**FLOOD INFORMATION:**  
 FLOOD ZONE: X  
 PER FEMA FIRM PANEL  
 MAP NO. 4504500409E  
 EFFECTIVE DATE: AUGUST 18, 2014

**AREAGE SUMMARY AND PARKING SUMMARY:**

**AREAGE SUMMARY:**  
 PARCEL 1: 1256 AC, 1247 AFTER DEDICATION  
 PARCEL 2: 1489 AC, 1473 AFTER DEDICATION  
 TOTAL PARCEL: 1747 AC, 1720 AFTER DEDICATION

**GROSS FLOOR AREA: 16100 SF.**

**PARKING SUMMARY:**  
 REQUIRED: 1 SPACE PER 300 SF OF GROSS FLOOR AREA TOTAL SF = 16100 / 300 = 54 SPACES

**PROVIDED:**  
 64 CUSTOMER SPACES PROVIDED  
 39 STORAGE SPACES PROVIDED  
 2 ADA SPACES PROVIDED  
 TOTAL: 100 SPACES

**NOTES:**  
 \* GATES FOR STORAGE PARKING SPACES WILL REMAIN OPEN DURING BUSINESS HOURS TO ALLOW FOR OVERFLOW PARKING (SHOULD IT BE NEEDED).  
 \*\* TOTAL NUMBER OF ADA PARKING SPACES IS TO BE RESULT OF THE NUMBER OF CUSTOMER SPACES PROVIDED AND NOT TOTAL SPACES PROVIDED.

**AREAGE SUMMARY (IN ACRES)**

TOTAL PROPERTY AREA	2,563
ON-SITE DISTURBED AREA	2,563
OFF-SITE DISTURBED AREA	2,700
TOTAL DISTURBED AREA	5,271
PERVIOUS AREA PRE-CONSTRUCTION	0.000
PERVIOUS AREA POST-CONSTRUCTION	2.563
PERVIOUS AREA POST-CONSTRUCTION	1.427
PERVIOUS AREA POST-CONSTRUCTION	1.136
PERCENT PERVIOUS OF NEW PARCEL 1	55.7%
PERVIOUS AREA POST-CONSTRUCTION	0.119
PERVIOUS AREA POST-CONSTRUCTION	4.599
PERCENT PERVIOUS OF NEW PARCEL 2	2.6%

**811**

EVERY DIGGING JOB REQUIRES A CALL - EVEN SMALL PROJECTS LIKE PLANTING TREES OR SHRUBS. IF YOU HIT AN UNDERGROUND UTILITY LINE WHILE DIGGING, YOU CAN HARM YOURSELF OR THOSE AROUND YOU. DIGSAFE SERVICE TO AN ENTIRE NEIGHBORHOOD AND POTENTIALLY BE RESPONSIBLE FOR FINES AND REPAIR COSTS.

START DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

**Order Plans @**

REFERENCE OFF-SITE ROADWAY PLANS (SHEETS R-109) FOR ALL WORK TO BE PERFORMED IN THE EAST BUTLER ROAD RIGHT-OF-WAY