

INTERIOR FINISH LEGEND

GENERAL NOTES
 A. IF A FINISH TYPE IS NOT SPECIFIED, CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCY IN WRITING AS SOON AS POSSIBLE.
 B. COORDINATE FINAL COORDS WITH OWNER AND ARCHITECT.

NEW INTERIOR FINISHES

SYMBOL	FINISH DESCRIPTION	COLOR	MFG.
FLOOR FINISH			
SCN	SEALED, STAINED CONCRETE	TBD	TBD
EPX	EPOXY (W/ POLYURETHANE)	MEDIUM GRAY	PPG
LVT	LUXURY VINYL TILE	TBD	TBD
WALL BASE			
RB	RESILIENT WALL BASE- VINYL COVE	BLACK	TBD
CEILING FINISH			
PT-A	PAINT	PPG1025-1 (COMM. WHITE)	PPG
WALL FINISH			
PT-1	(RESTROOMS) FIELD PAINT	PPG0995-1 (SHINING SCALE)	PPG
PT-2	(RESTROOMS) ACCENT PAINT	PPG0995-4 (SLATE MINE)	PPG
PT-3	(CONCESSIONS) FIELD PAINT	PPG0995-2 (STEELY GAZE)	PPG

*SEE RESTROOM FLOOR FINISH NOTES FOR ADDITIONAL FINISH INFORMATION

ROOM FINISH SCHEDULE - BLD D

ROOM NUMBER	ROOM NAME	AREA	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
D 100	CONCESSION	626 SF	SEALED CONCRETE	EXISTING	PAINT & FRP	PAINT
D 101	STORAGE	88 SF	EXISTING	EXISTING	EXISTING	EXISTING
D 102	STORAGE	32 SF	EXISTING	EXISTING	EXISTING	EXISTING
D 103	WOMENS	174 SF	EPOXY	EPOXY	PAINT	PAINT
D 104	MENS	174 SF	EPOXY	EPOXY	PAINT	PAINT
D 105	ELECT. ROOM	44 SF	EXISTING	EXISTING	EXISTING	EXISTING

RESTROOM FLOOR FINISH NOTES

SURFACE PREPARATION:
 1. ALL CONCRETE SURFACES MUST BE SOUND, CLEAN, DRY, CURED, AND PROFILED. IF THE EXISTING PAINT IS PEELING OR DEGRADING IN ANY WAY, IT SHOULD BE COMPLETELY REMOVED BY SHOTBLASTING OR BEST AVAILABLE MEANS. IF THE PREVIOUS COATING IS COMPLETELY INTACT, THE SURFACE SHOULD BE CLEANED BY THE BEST AVAILABLE MEANS TO REMOVE DUST, DIRT, GREASE, GRIME, AND ALL OTHER CONTAMINATION THAT MAY BE PRESENT ON THE SURFACE. FOLLOWING CLEANING, SAND THE COATING TO DULL THE GLOSS FROM THE SURFACE. RE-CLEAN TO REMOVE SANDING DUST AND RESIDUAL CONTAMINATION.

2. A SPOT TEST SHOULD BE MADE BY APPLYING A SMALL AMOUNT OF COATING OVER THE OLD PAINT. IF IT IS INCOMPATIBLE WITH THE RECOMMENDED COATING, THE OLD FINISH MAY WRINKLE OR LIFT WITHIN 30 MINUTES. IF IT DOES NOT, WAIT FIVE DAYS AND TEST FOR ADHESION USING THE CROSS-HATCH ADHESION TEST METHOD. IF THE OLD FINISH FAILS ADHESION TEST, OR IF THE APPLICATION OF THE SPOT TEST WRINKLES AND LIFTS THE OLD COATING, IT MUST BE COMPLETELY REMOVED BY SHOTBLASTING OR BEST AVAILABLE MEANS TO BARE CONCRETE AND ACHIEVE A 1 MIL PROFILE.

* REFERENCE INTERNATIONAL CONCRETE REPAIR INSTITUTE, GUIDELINE NO. 0372 - SELECTING AND SPECIFYING CONCRETE SURFACE PREPARATION FOR SEALERS, COATINGS AND POLYMER OVERLAYS (INCLUDING VISUAL STANDARDS), JAN. 1997. PHONE (817) 827-6836; FAX (817) 827-0832; AND SSP/CORACE PUBLICATION NO. 01-10 - FUNDAMENTALS OF CLEANING AND COATING CONCRETE, 2001. PHONE (412) 291-2331.

COATING SYSTEM:

PATCHING & REPAIRS:
 AS REQUIRED, NON-MOVING CRACKS, ANCHOR BOLT HOLES, GOUGES, DIVOTS AND OTHER IMPERFECTIONS CAN BE FILLED WITH MEGASCALE EPOXY CRACK FILLER 99-11401 PRIOR TO COATING. FOR ROUGH OR DETERIORATED AREAS, A 1/2" RESURFACER OR SUITABLE GROUTING MATERIAL MAY BE NEEDED. CONSULT YOUR REPRESENTATIVE FOR TECHNICAL ASSISTANCE.

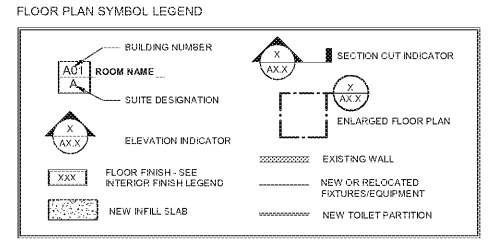
PRIME COAT:
 AMERLOCK 2 VOC SERIES LOW VOC FAST DRY HIGH SOLIDS EPOXY COATING APPLIED AT 4-6 MILS DFT. SPRAY, BRUSH, OR ROLLER APPLY FROM A BUCKET AND PAINT TRAY WITH A HIGH QUALITY 3/8" ROLLER COVER. RECOAT IN 8-24 HOURS. FOOT TRAFFIC IN 24 HOURS, FULL SERVICE IN 72 HOURS, AND 7 DAYS FOR FULL CURE.

FINISH COAT:
 AMERLOCK 2 VOC GLOSS POLYESTER ACRYLIC POLYURETHANE APPLIED AT 3-5 MILS DFT. SPRAY, BRUSH, OR ROLLER APPLY FROM A BUCKET AND PAINT TRAY WITH A HIGH QUALITY 3/8" ROLLER COVER. RECOAT IN 8-24 HOURS. FOOT TRAFFIC IN 24 HOURS, FULL SERVICE IN 72 HOURS, AND 7 DAYS FOR FULL CURE.

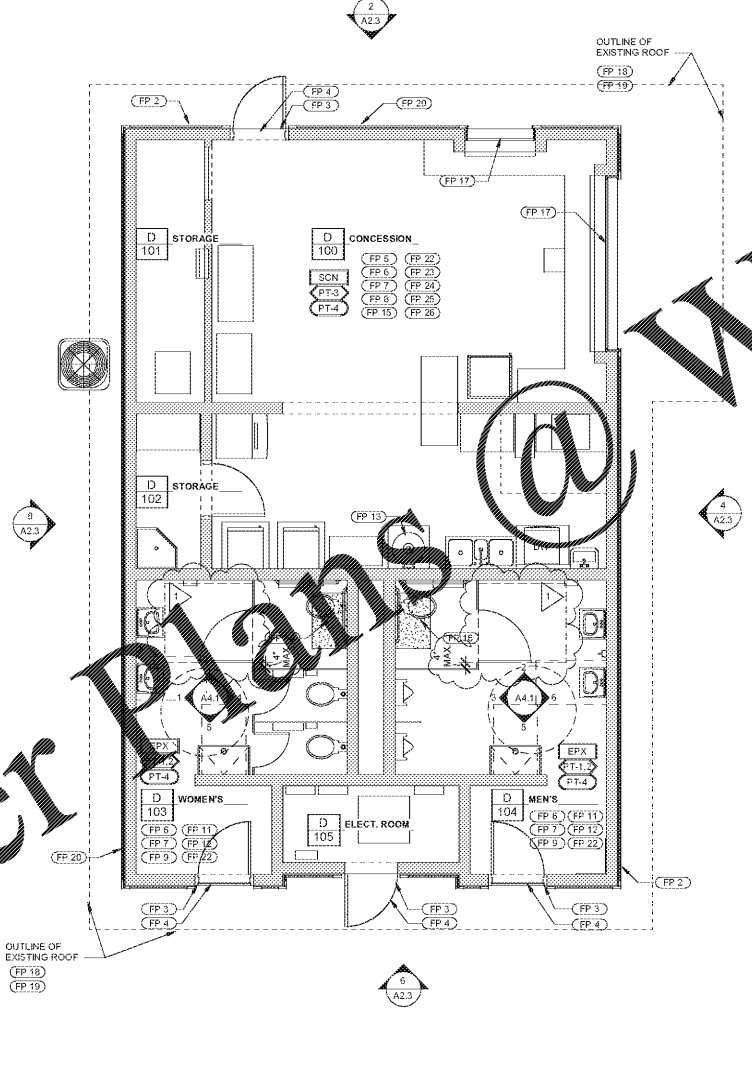
ANTI-SKID:
 AS REQUIRED, ANTI-SLIP SURFACE CAN BE ACHIEVED BY SUSPENDING SHARK SKIN ANTI-SLIP PAINT ADDITIVE INTO THE FINISH COAT. APPLICATION METHOD MIX 3 TO 4 OZ. PER GALLON APPLY BY BRUSH AND ROLLER ONLY.

FLOOR PLAN LEGEND

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
 - ALL WORK SHALL BE IN COMPLIANCE WITH CURRENT BUILDING CODE, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURER'S RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
 - PROVIDE ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED CONFORMING TO 2010 ADA STANDARDS, PARKING SPACES, CURB RAMPS, AND SYMBOLS.
 - ALL DIMENSIONS ARE TO BE FROM FACE OF MASONRY, FACE OF GYPSUM BOARD, OR COLUMN CENTER LINE.
 - ALL NOTES AND CALL OUTS FOR ONE SECTION OR DETAIL APPLY TO ALL OTHERS WHEN LIKE OR SIMILAR CONDITIONS ARE EVIDENT.
 - WOOD BLOCKING, PLYWOOD, AND WALERS IN CONTACT WITH CMU OR CONCRETE BUILDING COMPONENTS AND IN WALL TOPS SHALL BE PRESSURE TREATED.
 - WOOD COMPONENTS IN WALL TOPS SHALL BE COVERED WITH ICE & WATER SHIELD LAP AND SEAL 6" MINIMUM.
 - COPINGS, FLASHINGS, GRAVEL STOPS, GUTTERS, DOWN SPOUTS, ETC. SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - PROVIDE CONTINUOUS BLOCKING IN ANY NON MASONRY WALLS THAT ARE TO RECEIVE SIGNAGE. COORDINATE LOCATIONS AND SIGNAGE REQUIREMENTS WITH OWNER.
 - G.C. TO INSTALL NEW SIGNS TO NEWLY PLACED/REMODELED WALLS, DOORS, ETC. - COORDINATE WITH OWNER.
 - CONTRACTOR RESPONSIBLE FOR DISCONNECTING, MOVING, RESETTING & RECONNECTING FIXTURES/SHELVING/PLUMBING/ELECTRICAL, ETC. THAT HAVE BEEN RELOCATED AND/OR STORED FOR REMODELED FLOORS AND WALLS.
 - G.C. TO CHECK CONTROL JOINTS AT ALL CHANGES IN MATERIALS.
 - CLEAN WALLS, DOORS, DOOR FRAMES, GUARDRAILS, ETC. PER PAINT MANUFACTURER'S RECOMMENDATIONS PRIOR TO SEALING AND PAINTING.
 - INSTALL GUTTERS, DOWNSPOUTS, METERS, GROUPS, ETC. AFTER PAINTING.
 - ALL CMU WALLS BEHIND NEW SIDING SHALL BE TREATED WITH APPLIED DAMP-PROOFING, SEE SPECS.



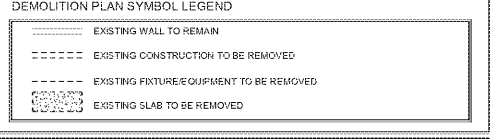
- FLOOR PLAN KEYNOTES**
- PROVIDE AND INSTALL NEW PREFINISHED METAL GUTTERS AND DOWNSPOUTS.
 - REMOVE AND INSTALL NEW HARDIPANEL VERTICAL SIDING AND HARDIE TRIM AT FIRST AND SECOND FLOOR EXTERIOR WALLS AND CMU COLUMNS. PROVIDE AND INSTALL NEW HARDIE TRIM AT EXISTING EXTERIOR EXPOSED METAL INCLUDING BUT NOT LIMITED TO: DOORS, DOOR FRAMES, LOUVERS, HANDRAILS, GUARDRAILS, STAIRS, BOLLARDS, EXPOSED ROOF TRUSSES AND COLUMNS, ETC.
 - PROVIDE AND INSTALL NEW PAINT AT EXISTING EXTERIOR EXPOSED METAL INCLUDING BUT NOT LIMITED TO: DOORS, DOOR FRAMES, LOUVERS, HANDRAILS, GUARDRAILS, STAIRS, BOLLARDS, EXPOSED ROOF TRUSSES AND COLUMNS, ETC.
 - PROVIDE AND INSTALL NEW DOOR SWEEPS TO ALL EXTERIOR DOORS.
 - PROVIDE AND INSTALL NEW FRP PANELS (WHERE CMU NOT EXISTING) WITHIN THE CONCESSIONS AREA.
 - PROVIDE AND INSTALL NEW PAINT AT EXISTING INTERIOR EXPOSED CMU WALLS.
 - PROVIDE AND INSTALL NEW PAINT AT EXISTING WOOD PANELING CEILING.
 - PROVIDE NEW POLISH AT EXISTING CONCESSIONS AREA CONCRETE FLOORS.
 - PROVIDE AND INSTALL NEW EPOXY (W/ POLYURETHANE) FINISH AT EXISTING RESTROOMS CONCRETE FLOORS.
 - PROVIDE AND INSTALL NEW LVT WOOD PLANK FLOORING AND RESILIENT WALL BASE AT SECOND FLOOR.
 - PROVIDE AND INSTALL NEW RESTROOM FIXTURES, FAUCETS, FLUSH VALVES, AND WATER CLOSETS. COORDINATE WITH PLUMBING DRAWINGS.
 - PROVIDE AND INSTALL NEW TOILET PARTITIONS.
 - NEW WATER HEATER, COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS.
 - NEW WATER COOLER, COORDINATE WITH PLUMBING DRAWINGS.
 - BUILDING ONLY REMOVE ALL EXISTING MILLWORK (INCLUDING COUNTERTOPS, COUNTERTOPS AND SHELVING, EXISTING GLASS-THRU SCREEN, GRILLER, REMAIN).
 - INFILL AREAS WHERE SLAB WAS REMOVED (GRAY SEALED CONCRETE MATCH NEW FLOOR FINISHES. MATCH EXISTING CONTROL JOINTS AND SIZES WHERE NECESSARY).
 - PATCH AND REPAIR EXISTING WINDOW SCREENS AT CONCESSIONS SERVICE COUNTER AS NEEDED.
 - PROVIDE AND INSTALL NEW VENTED HARDIE SOFFIT PANELS.
 - PROVIDE AND INSTALL NEW HARDIE TRIM FASCIA.
 - PROVIDE AND INSTALL NEW PAINT AT PORTIONS OF EXTERIOR EXPOSED CMU.
 - PROVIDE AND INSTALL NEW PAINT AT EXTERIOR EXPOSED WOOD (INCLUDING COLUMNS, BEAMS, ETC).
 - PROVIDE AND INSTALL NEW PAINT AT INTERIOR HOLLOW METAL DOORS AND FRAMES.
 - PROVIDE AND INSTALL NEW PAINT AT EXISTING PAINTED SHELVING IN CONCESSIONS AREA.
 - CONTRACTOR RESPONSIBLE FOR RESETTING, RECONNECTING AND FINAL HOOK-UP OF FIXTURES, COUNTER TOPS, PLUMBING, ELECTRICAL, MECHANICAL EQUIPMENT, ETC. THAT WERE BE REMOVED AND STORED.
 - ALTERNATE #1: REMOVE AND REPLACE EXISTING MILLWORK (INCLUDING COUNTERTOPS, COUNTERTOPS AND SHELVING, AND GLASS THRU SCREEN).
 - ALTERNATE #2: EXISTING CONCESSIONS EQUIPMENT AND FIXTURES TO BE ABANDONED IN PLACE.
 - ALTERNATE #3: (SCORKEKEEPER TOWER ONLY) PROVIDE AND INSTALL NEW HARDIPANEL VERTICAL SIDING AND HARDIE TRIM AT SECOND FLOOR EXTERIOR WALLS. PROVIDE AND INSTALL NEW PAINT AT ENTIRE HEIGHT OF EXISTING FIRST FLOOR CMU WALLS.



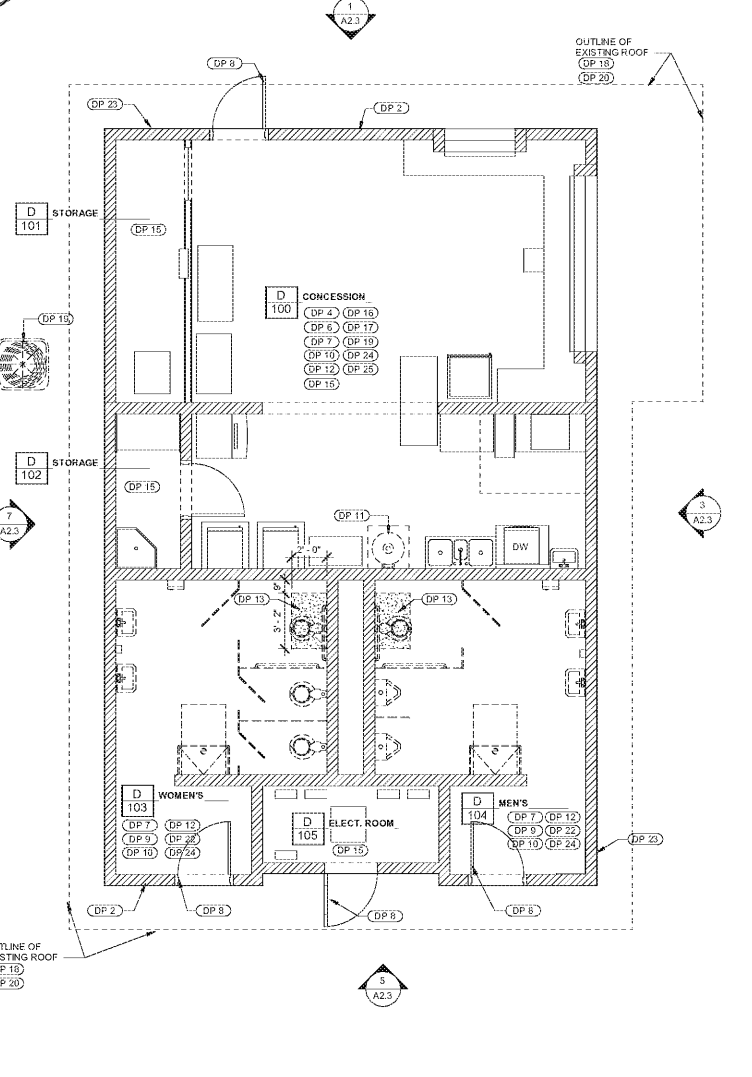
FLOOR PLAN
 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- GENERAL NOTES**
- REFER TO CONSTRUCTION DRAWINGS TO VERIFY CONDITIONS REQUIRING DEMOLITION, REMOVAL, SALVAGE OR RELOCATION PRIOR TO STARTING OF WORK. AREAS SHOWN TO BE REMOVED ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, REMOVAL OR RELOCATION WITHIN THE GENERAL LIMITS DESCRIBED IN THE CONSTRUCTION DOCUMENT DRAWINGS.
 - CONTRACTOR SHALL VERIFY INFORMATION SHOWN AS EXISTING AND REPORT ANY DISCREPANCIES TO ARCHITECT.
 - PRIOR TO DEMOLITION NOTIFY THE OWNER OF SUFFICIENT TIME TO SALVAGE MISCELLANEOUS ITEMS BEFORE DEMOLITION WORK COMMENCES.
 - FOR ALL AREAS/ITEMS SCHEDULED TO REMAIN, TAKE ALL NECESSARY MEASUREMENTS TO PROTECT EXISTING STRUCTURE/FIXTURES/EQUIPMENT DURING DEMOLITION THROUGHOUT CONSTRUCTION.
 - COORDINATE WITH OWNER TO CONNECT UTILITIES PRIOR TO COMMENCING WORK.
 - WHERE FLOORING IS TO BE REMOVED, IF APPROPRIATE REMOVE ALL ADHESIVE AND PROVIDE A SMOOTH AND LEVEL INCREASE SUBSTRATE READY TO RECEIVE NEW FLOOR FINISH.
 - WHERE WALL BASES ARE TO BE REMOVED, REMOVE ALL ADHESIVE FROM WALL AND PROVIDE A SMOOTH FACE READY TO RECEIVE NEW WALL BASE.
 - WHERE EXISTING ELECTRICAL, MECHANICAL, PLUMBING, ARCHITECTURAL FIXTURES AND EQUIPMENT IS TO BE REMOVED, CONTRACTOR SHALL VERIFY THE WORKING ORDER AND MEETS CURRENT CODES. INFORM THE ARCHITECT IF EXISTING ITEMS SCHEDULED TO REMAIN WILL BE REQUIRED TO BE RELOCATED TO COMPLY WITH CURRENT CODES OR TO FUNCTION AS EXPECTED. PREPARE ITEMS FROM DAMAGE DURING CONSTRUCTION. COORDINATE REMOVAL, STORAGE, AND RELOCATION WITH OWNER. IF REQUIRED, CONTRACTOR SHALL REMOVE ALL ELECTRICAL AND MECHANICAL AND ELECTRICAL FOR PLUMBING, MECHANICAL AND ELECTRICAL UTILITIES RESPECTIVELY.
 - CONTRACTOR LEGALLY DISPOSED ALL DEMOLISHED MATERIALS OFF-SITE UNLESS NOTED TO BE REMOVED AND SALVAGED.
 - CONTRACTOR SHALL REMOVE ALL IDENTIFICATION, REGULATORY AND INFORMATIONAL WALL SIGNS TO THE EXTERIOR OF THE BUILDINGS. SAVE SIGNS TO BE REUSED OR DISPOSED AS DIRECTED BY OWNER.
 - CONTRACTOR SHALL ENSURE THAT ALL EXISTING WINDOWS AND DOORS TO REMAIN ARE OPERATIONAL AND IN GOOD CONDITION.
 - CONTRACTOR TO CLEAN/WASH ALL EXTERIOR SURFACES AND WINDOWS FREE OF DUST, COBBERS, AND MISCELLANEOUS STAINS IN AREAS WHERE NO OTHER WORK IS REQUIRED.



- DEMOLITION FLOOR PLAN KEYNOTES**
- REMOVE EXISTING GUTTERS AND DOWNSPOUTS FOR REPLACEMENT.
 - REMOVE EXISTING EXTERIOR TRIM SIDING (AND WEATHER BARRIER BENEATH) AT SECOND FLOOR AND GABLES. PATCH AND REPAIR WALLS (INCLUDING FIRST FLOOR CMU WALLS) AS REQUIRED TO RECEIVE NEW HARDIPANEL SIDING.
 - EXISTING CMU COLUMNS TO REMAIN. PATCH AND REPAIR AS NEEDED TO ALLOW FOR INSTALLATION OF NEW HARDIPANEL SIDING.
 - REMOVE EXISTING VCT FLOORING WITHIN CONCESSIONS AREA. PATCH AND REPAIR WALLS AS NEEDED TO ALLOW FOR INSTALLATION OF NEW LVT FLOORING.
 - REMOVE EXISTING VCT FLOORING AND WALL BASE AT SECOND FLOOR. PATCH AND REPAIR FLOORS AS NEEDED TO ALLOW FOR INSTALLATION OF NEW LVT FLOORING.
 - PREPARE FLOORS AT CONCESSIONS AREA AS REQUIRED FOR STAIN AND POLISH (WATER EQUIPMENT AND FIXTURES REMOVAL).
 - DEEP CLEAN EXISTING INTERIOR EXPOSED CMU WALLS. PREPARE TO RECEIVE NEW PAINT.
 - ISLAND PRIME AND PREPARE EXTERIOR EXPOSED METAL INCLUDING DOORS, DOOR FRAMES, LOUVERS, HANDRAILS, GUARDRAILS, STAIRS, STAIR LANDINGS, BOLLARDS, COLUMNS, ETC., TO RECEIVE NEW PAINT.
 - REMOVE EXISTING MECHANICAL, PLUMBING AND ELECTRICAL FIXTURES, FAUCETS, FLUSH VALVES, HAND DRYERS, TOILET PARTITIONS, RESTROOM ACCESSORIES, ETC. PATCH AND REPAIR SURFACES TO RECEIVE NEW FIXTURES, PARTITIONS AND ACCESSORIES. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
 - DEEP CLEAN EXISTING WOOD PANEL CEILING AS NEEDED. PREPARE TO RECEIVE NEW PAINT.
 - REMOVE EXISTING WATER HEATER FOR REPLACEMENT. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS. REMOVE EXISTING WATER HEATER SCREEN (TO BE REINSTALLED AFTER WORK COMPLETE).
 - CLEAN AND UNLOCK ALL EXISTING DRAINS.
 - REMOVE PORTION OF EXISTING SLAB AS NEEDED TO ALLOW FOR INSTALLATION OF NEW WATER CLOSET. FIELD VERIFY EXACT LOCATIONS. COORDINATE WITH PLUMBING DRAWINGS.
 - REMOVE EXISTING WATER COOLER FOR REPLACEMENT. COORDINATE WITH PLUMBING DRAWINGS.
 - CLEAN/WASH ALL EXISTING SURFACES (FLOORS, WALLS, CEILING, ETC.) AND WINDOWS FREE OF DUST, COBBERS AND MISCELLANEOUS STAINS IN AREAS WHERE NO OTHER WORK IS REQUIRED.
 - CONTRACTOR RESPONSIBLE FOR DISCONNECTING AND MOVING FIXTURES, COUNTER TOPS, PLUMBING, ELECTRICAL, MECHANICAL EQUIPMENT, ETC. THAT NEED TO BE REMOVED AND STORED FOR CONSTRUCTION. COORDINATE WITH OWNER REGARDING STORAGE.
 - REMOVE EXISTING FRYER, HOOD AND ALL ASSOCIATED ELECTRICAL EQUIPMENT. PATCH AND REPAIR ROOF, WALLS AND CEILING AS REQUIRED AFTER EQUIPMENT DEMOLITION. PREPARE SURFACES TO RECEIVE NEW FINISHES.
 - REMOVE EXISTING FASCIA FOR REPLACEMENT. PATCH AND REPAIR AREA AS REQUIRED TO RECEIVE NEW HARDIE TRIM FASCIA.
 - REMOVE EXISTING MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
 - REMOVE EXISTING VINYL SOFFITS. PATCH AND REPAIR AREA AS REQUIRED TO RECEIVE NEW HARDIE SOFFIT PANELS.
 - DEEP CLEAN EXISTING TILE FLOORS AT RESTROOMS.
 - CLEAN, REPAIR AND PREPARE CONCRETE FLOORS AT RESTROOMS AS REQUIRED TO RECEIVE NEW EPOXY FINISH.
 - DEEP CLEAN EXISTING EXTERIOR EXPOSED CMU WALLS AT AREAS THAT WILL BE EXPOSED AFTER NEW SIDING INSTALLED. PREPARE TO RECEIVE NEW PAINT.
 - ISLAND AND PREPARE INTERIOR HOLLOW METAL DOORS AND FRAMES TO RECEIVE NEW PAINT. EXISTING DOOR HANDICAP TO REMAIN.
 - PREPARE EXISTING PAINTED SHELVING WITHIN CONCESSIONS AREA TO RECEIVE NEW PAINT.



DEMOLITION FLOOR PLAN
 1/4" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION
1	11/04/2020	COUNTY COMMENTS