

INTERIOR FINISH LEGEND

GENERAL NOTES

- IF A FINISH TYPE IS NOT SPECIFIED, CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCY IN WRITING, AS SOON AS POSSIBLE.
- COORDINATE FINAL COLORS WITH OWNER AND ARCHITECT.

NEW INTERIOR FINISHES

SYMBOL	FINISH DESCRIPTION	COLOR	MFG.
FLOOR FINISH			
SCN	SEALED, STAINED CONCRETE	TBD	TBD
EPX	EPOXY (W/ POLYURETHANE)*	MEDIUM GRAY	PPG
LVT	LUXURY VINYL TILE	TBD	TBD
WALL BASE			
RB	RESILIENT WALL BASE- VINYL COVE	BLACK	TBD
CEILING FINISH			
FT-4	PAINT	PPG1025-1 (COMM. WHITE)	PPG
WALL FINISH			
FT-1	(RESTROOMS) FELD PAINT	PPG0996-1 (SHINING SCALE)	PPG
FT-2	(RESTROOMS) ACCENT PAINT	PPG0996-4 (SLATE MINE)	PPG
FT-3	(CONCESSIONS) FELD PAINT	PPG0996-2 (STEELY GAZE)	PPG

*SEE RESTROOM FLOOR FINISH NOTES FOR ADDITIONAL FINISH INFORMATION

ROOM FINISH SCHEDULE - BUILDING A & B

ROOM NUMBER	ROOM NAME	AREA	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
A 100	CONCESSION	240 SF	SEALED CONCRETE	PAINT	PAINT	PAINT
A 101	WOMEN'S	174 SF	EPOXY	EPOXY	PAINT	PAINT
A 102	MEN'S	174 SF	EPOXY	EPOXY	PAINT	PAINT
A 103	ELECT. ROOM	44 SF	EXISTING	EXISTING	EXISTING	EXISTING
A 200	SCOREKEEPING	524 SF	LVT	VINYL COVE	EXISTING	EXISTING
A 201	STORAGE	54 SF	LVT	VINYL COVE	EXISTING	EXISTING
A 202	OFFICE	133 SF	LVT	VINYL COVE	EXISTING	EXISTING
A 203	UMPIRE DRESSING	70 SF	LVT	VINYL COVE	EXISTING	EXISTING

RESTROOM FLOOR FINISH NOTES

SURFACE PREPARATION:

- ALL CONCRETE SURFACES MUST BE SOUND, CLEAN, DRY, CURED, AND PROFILED. IF THE EXISTING PAINT IS PEELING OR DEGRADING IN ANY WAY, IT SHOULD BE COMPLETELY REMOVED BY SHOTBLASTING OR BEST AVAILABLE MEANS. IF THE PREVIOUS COATING IS COMPLETELY INTACT, THE SURFACE SHOULD BE CLEANED BY THE BEST AVAILABLE MEANS TO REMOVE DUST, DRIFT, GREASE, GRIME, AND ALL OTHER CONTAMINATION THAT MAY BE PRESENT ON THE SURFACE. FOLLOWING CLEANING, SAND THE COATING TO BULL THE GLOSS FROM THE SURFACE. RE-CLEAN TO REMOVE SANDING DUST AND RESIDUAL CONTAMINATION.
- A SPOT TEST SHOULD BE MADE BY APPLYING A SMALL AMOUNT OF COATING OVER THE OLD PAINT. IF IT IS INCOMPATIBLE WITH THE RECOMMENDED COATING, THE OLD FINISH MAY WRINKLE OR LIFT WITHIN 30 MINUTES. IF IT DOES NOT, WAIT FIVE DAYS AND TEST FOR ADHESION USING THE CROSS-HATCH ADHESION TEST METHOD. IF THE OLD FINISH FAILS ADHESION TEST, OR IF THE APPLICATION OF THE SPOT TEST WRINKLES AND LIFTS THE OLD COATING, IT MUST BE COMPLETELY REMOVED BY THE SHOTBLASTING OR BEST AVAILABLE MEANS TO BARE CONCRETE AND ACHIEVE A 1 MIL PROFILE.

- REFERENCE INTERNATIONAL CONCRETE REPAIR INSTITUTE, GUIDELINE NO. 03702 - SELECTING AND SPECIFYING CONCRETE SURFACE PREPARATION FOR SEALERS, COATINGS AND POLYMER OVERLAYS (INCLUDING VISUAL STANDARDS), JAN. 1997, PHONE (847) 827-0830; FAX (847) 827-0832; AND SSPRANCE PUBLICATION NO. 01-10 - FUNDAMENTALS OF CLEANING AND COATING CONCRETE, 2001, PHONE (412) 381-2371.

COATING SYSTEM:

PATCHING & REPAIRS:

AS REQUIRED: NON-MOVING CRACKS, ANCHOR BOLT HOLES, GOUGES, DIVOTS AND OTHER IMPERFECTIONS CAN BE FILLED WITH MEGASEAL OF EPOXY CRACK FILLER 99-11401 PRIOR TO COATING. FOR ROUGH OR DETERIORATED AREAS, A 1/2" RESURFACER OR SUITABLE GROUTING MATERIAL MAY BE NEEDED. CONSULT YOUR REPRESENTATIVE FOR TECHNICAL ASSISTANCE.

PRIME COAT:

AMERLOCK 2100C SERIES LOW VOC FAST DRY HIGH SOLIDS EPOXY COATING APPLIED AT 4.4 MILS DFT. SPRAY, BRUSH, OR ROLLER APPLY FROM A BUCKET AND PAINT TRAY WITH A HIGH QUALITY 3/8" ROLLER COVER. RECOAT IN 8-24 HOURS, FOOT TRAFFIC IN 24 HOURS, FULL SERVICE IN 72 HOURS, AND 7 DAYS FOR FULL CURE.

FINISH COAT:

AMERSHIELD VOG GLOSS POLYESTER ACRYLIC POLYURETHANE APPLIED AT 3.5 MILS DFT. SPRAY, BRUSH, OR ROLLER APPLY FROM A BUCKET AND PAINT TRAY WITH A HIGH QUALITY 3/8" ROLLER COVER. RECOAT IN 8-24 HOURS, FOOT TRAFFIC IN 24 HOURS, FULL SERVICE IN 72 HOURS, AND 7 DAYS FOR FULL CURE.

ANTI-SLIP:

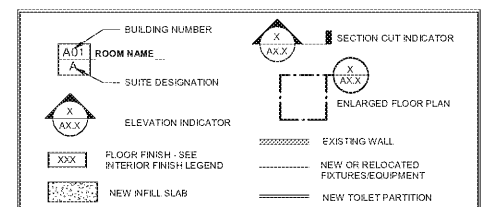
AS REQUIRED: ANTI-SLIP SURFACE CAN BE ACHIEVED BY SUSPENDING SKIN SKIN ANTI-SLIP PAINT ADDITIVE INTO THE FINISH COAT. APPLICATION METHOD MIX 3 TO 4 OZ. PER GALLON APPLY BY BRUSH AND ROLLER ONLY.

FLOOR PLAN LEGEND

GENERAL NOTES

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
- ALL WORK SHALL BE IN COMPLIANCE WITH CURRENT BUILDING CODE, GENERAL CONDITIONS OF THE CONTRACT, FEDERAL, STATE, AND LOCAL REGULATIONS, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURERS' RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
- PROVIDE ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED CONFORMING TO 2010 ADA STANDARDS, PARKING SPACES, CURB RAMPS, AND SYMBOLS.
- ALL DIMENSIONS ARE TO BE FROM FACE OF MASONRY, FACE OF GYPSUM BOARD, OR COLUMN CENTER LINE.
- ALL NOTES AND CALL OUTS FOR ONE SECTION OR DETAIL APPLY TO ALL OTHERS WHEN LIKE OR SIMILAR CONDITIONS ARE EVIDENT.
- WOOD BLOCKING, PLYWOOD AND HALERS IN CONTACT WITH CMU OR CONCRETE BUILDING COMPONENTS AND IN WALL TOPS SHALL BE PRESSURE TREATED.
- WOOD COMPONENTS IN WALL TOPS SHALL BE COVERED WITH A WATER SHIELD LAP AND SEAL 6" MINIMUM.
- COFFINGS, FLASHINGS, GRAVEL STOPS, GUTTERS, DOWN SPOUTS, ETC SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- PROVIDE CONTINUOUS BLOCKING IN ANY NON MASONRY WALLS THAT ARE TO RECEIVE SIGNAGE. COORDINATE LOCATIONS AND SIGNAGE REQUIREMENTS WITH OWNER.
- G.C. TO INSTALL NEW SIGNS OR REINSTALL EXISTING RELOCATED SIGNS TO NEWLY PLACED/REMODELED WALLS, DOORS, ETC. - COORDINATE WITH OWNER.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING, SKIVING, RESETTING & RECONNECTING FIXTURES, SHELVING, PLUMBING, ELECTRICAL, ETC. THAT HAVE BEEN RELOCATED AND/OR STORED FOR REMODELED FLOORS AND WALLS.
- G.C. TO CALL OUT CONTROL JOINTS AT ALL CHANGES IN MATERIALS.
- CLEAN WALLS, DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS, ETC PER PAINT MANUFACTURERS RECOMMENDATIONS PRIOR TO SEALING AND PAINTING.
- INSTALL GUTTERS, DOWNSPOUTS, METER GROUPS, ETC. AFTER PAINTING.
- ALL CMU WALLS BEHIND NEW SIGNS SHALL BE TREATED WITH APPLIED DAMP-PROOFING, SEE SPECS.

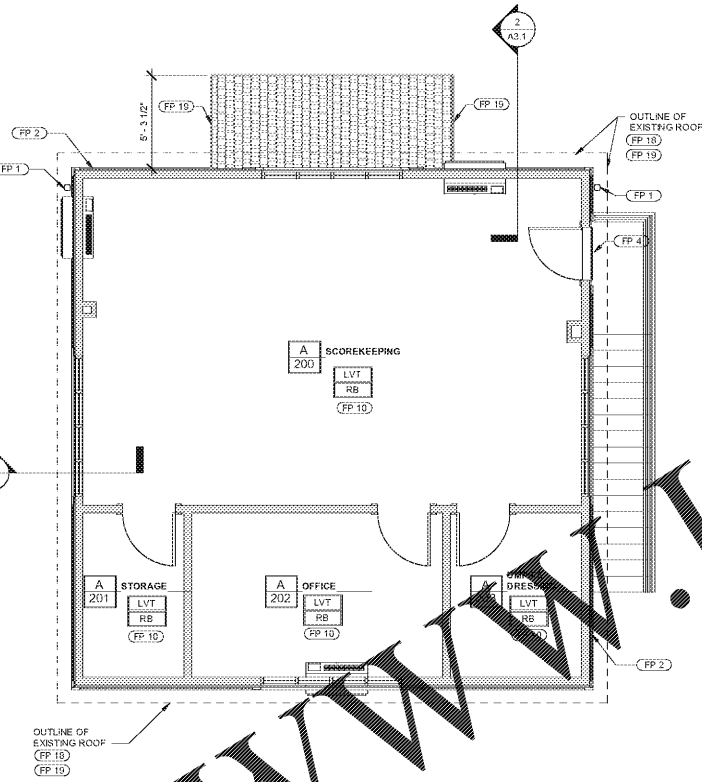
FLOOR PLAN SYMBOL LEGEND



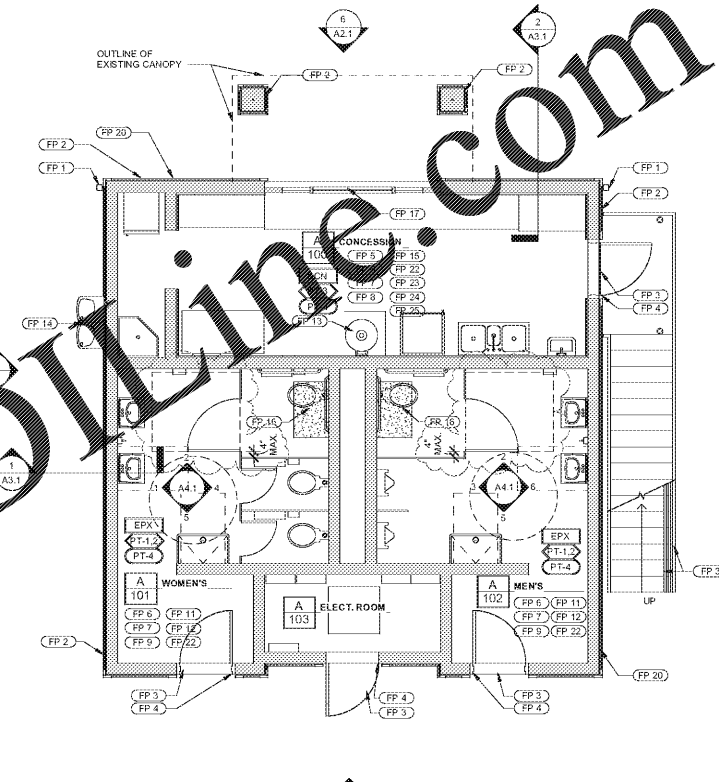
FLOOR PLAN KEYNOTES

- PROVIDE AND INSTALL NEW PREFINISHED METAL GUTTERS AND DOWNSPOUTS.
- PROVIDE AND INSTALL NEW HARDIPANEL, VERTICAL SIDING AND HARDI TRIM AT FIRST AND SECOND FLOOR EXTERIOR WALLS AND CMU COLUMNS. PROVIDE AND INSTALL NEW HARDIWRAP WEATHER BARRIER AT SECOND FLOOR.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING EXTERIOR EXPOSED METAL INCLUDING BUT NOT LIMITED TO: DOORS, DOOR FRAMES, LOUVERS, HANDRAILS, GUARDRAILS, STAIRS, BOLLARDS, EXPOSED ROOF TRUSSES AND COLUMNS ETC.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING EXTERIOR EXPOSED CMU WALLS.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING EXTERIOR EXPOSED CONCRETE FLOORS.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING INTERIOR EXPOSED CMU WALLS.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING WOOD PANELING CEILING.
- PROVIDE NEW POLISH AT EXISTING CONCESSIONS AREA CONCRETE FLOORS.
- PROVIDE AND INSTALL NEW EPOXY (AND POLYURETHANE) FINISH AT EXISTING RESTROOMS CONCRETE FLOORS.
- PROVIDE AND INSTALL NEW LVT WOOD PLANK FLOORING AND RESILIENT WALL BASE AT SECOND FLOOR.
- PROVIDE AND INSTALL NEW RESTROOM FIXTURES, FACETS, FLUSH VALVES AND WATER CLOSETS. COORDINATE WITH PLUMBING DRAWINGS.
- PROVIDE AND INSTALL NEW TOILET PARTITIONS.
- NEW WATER HEATER. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS.
- NEW WATER COOLER. COORDINATE WITH PLUMBING DRAWINGS.
- BUILDING C/O REMOVE ALL EXISTING MILLWORK (INCLUDING COUNTERS, COUNTERTOPS AND SHELVING) EXISTING PASS-THRU SCREEN AND GRILLE TO REMAIN.
- INFILL AREAS WHERE SLAB WAS REMOVED WITH GRAY SEALED CONCRETE. MATCH NEW FLOOR FINISHES. MATCH EXISTING CONTROL JOINTS AND SLOPES WHERE NECESSARY.
- FRYER AND REPAIR EXISTING WINDOW SCREENS (PLEXIGLASS) AT CONCESSIONS SERVICE COUNTER AS NEEDED.
- PROVIDE AND INSTALL NEW VENTED HARDI SOFFIT PANELS.
- PROVIDE AND INSTALL NEW HARDI TRIM FASCIA.
- PROVIDE AND INSTALL NEW PAINT AT PORTIONS OF EXTERIOR EXPOSED CMU.
- PROVIDE AND INSTALL NEW PAINT AT EXTERIOR EXPOSED WOOD (INCLUDING COLUMNS, BEAMS, ETC.).
- PROVIDE AND INSTALL NEW PAINT AT INTERIOR HOLLOW METAL DOORS AND FRAMES.
- PROVIDE AND INSTALL NEW PAINT AT EXISTING PAINTED SHELVING IN CONCESSIONS AREA.
- CONTRACTOR RESPONSIBLE FOR RESETTING, RECONNECTING AND FINAL HOOK-UP OF FIXTURES, COUNTER TOPS, PLUMBING, ELECTRICAL, MECHANICAL EQUIPMENT, ETC. THAT WERE BE REMOVED AND STORED FOR CONSTRUCTION. COORDINATE WITH OWNER REGARDING STORAGE.
- ALTERNATE #1: REMOVE AND REPLACE EXISTING MILLWORK (INCLUDING COUNTERS, COUNTERTOPS AND SHELVING) AND PASS-THRU SCREEN.
- ALTERNATE #2: EXISTING CONCESSIONS EQUIPMENT AND FIXTURES TO BE ABANDONED IN PLACE.
- ALTERNATE #3: (SCOREKEEPER TOWER ONLY) PROVIDE AND INSTALL NEW HARDIPANEL, VERTICAL SIDING AND HARDI TRIM AT SECOND FLOOR EXTERIOR WALLS. PROVIDE AND INSTALL NEW PAINT AT ENTIRE HEIGHT OF EXISTING FIRST FLOOR CMU WALLS.
- PROVIDE AND INSTALL NEW PAINT AT ENTIRE HEIGHT OF EXISTING FIRST FLOOR CMU WALLS.

SECOND FLOOR PLAN



FIRST FLOOR PLAN

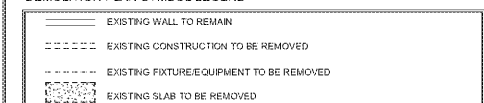


DEMOLITION GENERAL NOTES

GENERAL NOTES

- REFER TO CONSTRUCTION DRAWINGS TO VERIFY CONDITIONS REQUIRING DEMOLITION. REMOVAL, SALVAGE OR RELOCATION PRIOR TO STARTING OF WORK. AREAS SHOWN TO BE REMOVED ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, REMOVAL OR RELOCATION WITHIN THE GENERAL LIMITS DESCRIBED IN THE CONSTRUCTION DOCUMENT DRAWINGS.
- CONTRACTOR SHALL VERIFY INFORMATION SHOWN AS EXISTING AND REPORT ANY DISCREPANCIES TO ARCHITECT.
- PRIOR TO DEMOLITION NOTIFY THE OWNER IN SUFFICIENT TIME TO SALVAGE MISCELLANEOUS ITEMS BEFORE DEMOLITION WORK COMMENCES.
- FOR ALL AREAS/ITEMS SCHEDULED TO REMAIN, TAKE ALL NECESSARY MEASURES TO PROTECT EXISTING STRUCTURES/FIXTURES/EQUIPMENT DURING DEMOLITION AND THROUGHOUT CONSTRUCTION.
- COORDINATE WITH OWNER TO DISCONNECT UTILITIES PRIOR TO COMMENCING WORK.
- WHERE FLOORING IS SCHEDULED TO BE DEMOLISHED, IF APPLICABLE, REMOVE ALL ADHESIVE AND PROVIDE A SMOOTH AND LEVEL CONCRETE SUBSTRATE READY TO RECEIVE NEW FLOOR FINISH.
- WHERE WALL BASE IS SCHEDULED TO BE DEMOLISHED, REMOVE ALL ADHESIVE FROM WALL AND PROVIDE A SMOOTH SURFACE READY TO RECEIVE NEW WALL BASE.
- WHERE EXISTING ELECTRICAL, MECHANICAL, PLUMBING, ARCHITECTURAL FIXTURES AND EQUIPMENT ARE INDICATED TO REMAIN/BE RELOCATED, CONFIRM THAT EQUIPMENT IS IN GOOD WORKING ORDER AND MEETS CURRENT CODES. NOTIFY ARCHITECT IF EXISTING ITEMS SCHEDULED TO REMAIN, WILL BE REQUIRED TO BE REPLACED TO COMPLY WITH CURRENT CODES OR TO FUNCTION AS EXPECTED. PROTECT ITEMS FROM DAMAGE DURING CONSTRUCTION. COORDINATE WITH OWNER, STAGING AND RE-INSTALLATION WITH OWNER, IF REQUIRED.
- REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL DEMOLITION NOTES RESPECTIVELY.
- CONTRACTOR TO LEGALLY DISPOSE ALL DEMOLISHED MATERIALS UNLESS INDICATED TO BE REMOVED AND SALVAGED.
- CONTRACTOR SHALL REMOVE ALL IDENTIFICATION, REGULATORY INFORMATION, WALL SIGNS TO THE EXTERIOR OF THE BUILDINGS.
- DIRECTED BY OWNER: CONTRACTOR SHALL ENSURE THAT ALL EXISTING WINDOWS AND DOORS TO REMAIN ARE OPERATIONAL AND IN GOOD CONDITION.
- CONTRACTOR TO CLEANWASH ALL EXTERIOR SURFACES AND WINDOWS FREE OF DUST, COBBLETS AND MISCELLANEOUS STAINS IN AREAS WHERE OTHER WORK IS REQUIRED.

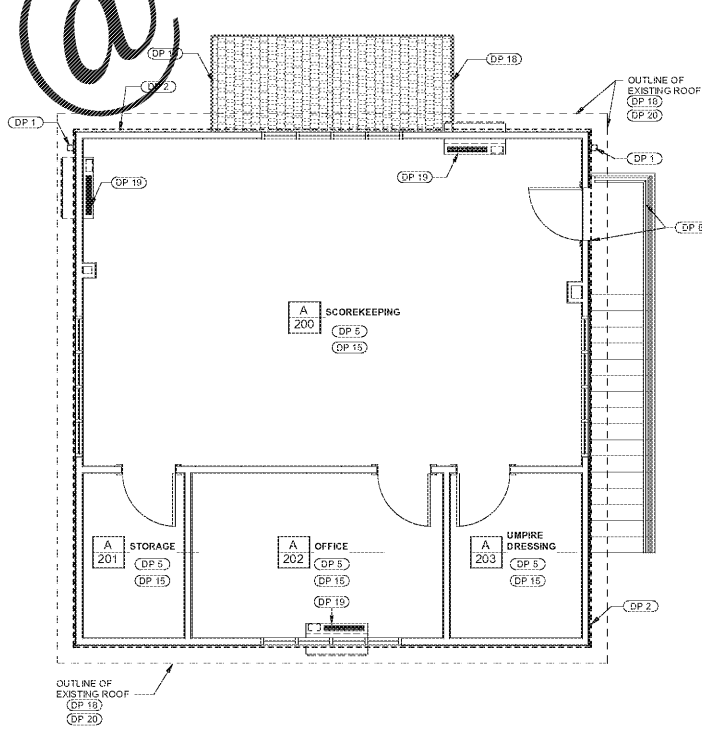
DEMOLITION PLAN SYMBOL LEGEND



DEMOLITION FLOOR PLAN KEYNOTES

- REMOVE EXISTING GUTTERS AND DOWNSPOUTS FOR REPLACEMENT.
- REMOVE EXISTING EXTERIOR VINYL SIDING (AND EITHER HARDI TRIM OR HARDIWRAP WEATHER BARRIER) AT SECOND FLOOR AND GABLES. REMOVE NEW HARDI TRIM, EL SIDING AND HARDIWRAP WEATHER BARRIER AT SECOND FLOOR. MATCH AND REPAIR EXISTING HARDI TRIM AND HARDIWRAP WEATHER BARRIER AT SECOND FLOOR.
- EXISTING CMU COLUMNS TO REMAIN. PATCH AND REPAIR AS NEEDED TO ALLOW FOR INSTALLATION OF NEW FLOORING.
- REMOVE EXISTING WALLS, WINDOW CONCRESSIONS, PATCH AND REPAIR AS NEEDED TO ALLOW FOR INSTALLATION OF NEW LVT FLOORING.
- REMOVE EXISTING MILLWORK (INCLUDING COUNTERS, COUNTERTOPS AND SHELVING) AND PASS-THRU SCREEN AND REPAIR FLOORING AS NEEDED TO ALLOW FOR INSTALLATION OF NEW LVT FLOORING.
- PREPARE EXISTING SURFACES AT CONCESSIONS AREA AS REQUIRED FOR STAIN AND POLISH AFTER LVT AND FIXTURES ARE INSTALLED.
- DEEP CLEAN EXISTING EXTERIOR EXPOSED CMU WALLS. PREPARE TO RECEIVE NEW PAINT.
- PRIME AND PREPARE EXTERIOR EXPOSED METAL INCLUDING DOORS, DOOR FRAMES, LOUVERS, HANDRAILS, GUARDRAILS, STAIRS, STAIR LANDINGS, BOLLARDS, COLUMNS, ETC., TO RECEIVE NEW PAINT.
- REMOVE EXISTING MECHANICAL, PLUMBING AND ELECTRICAL FIXTURES, FACETS, FLUSH VALVES, HAND DRYERS, TOILET PARTITIONS, RESTROOM ACCESSORIES, ETC. THAT WERE BE REMOVED AND STORED FOR CONSTRUCTION. COORDINATE WITH OWNER REGARDING STORAGE.
- DEEP CLEAN EXISTING WOOD PANEL CEILING AS NEEDED. PREPARE TO RECEIVE NEW PAINT.
- REMOVE EXISTING WATER HEATER FOR REPLACEMENT. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS. REMOVE EXISTING WATER HEATER SCREEN (TO BE REINSTALLED AFTER WORK IS COMPLETE).
- CLEAN AND UNPLUG ALL EXISTING DRAINS.
- REMOVE PORTION OF EXISTING SLAB AS NEEDED TO ALLOW FOR INSTALLATION OF NEW WATER CLOSET. FIELD VERIFY EXACT LOCATIONS. COORDINATE WITH PLUMBING DRAWINGS.
- REMOVE EXISTING WATER COOLER FOR REPLACEMENT. COORDINATE WITH PLUMBING DRAWINGS.
- CLEANWASH ALL EXISTING SURFACES (FLOORS, WALLS, CEILING, ETC.) AND WINDOWS FREE OF DUST, COBBLETS AND MISCELLANEOUS STAINS IN AREAS WHERE NO OTHER WORK IS REQUIRED.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTING AND MOVING FIXTURES, COUNTER TOPS, PLUMBING, ELECTRICAL, MECHANICAL EQUIPMENT, ETC. THAT NEED TO BE REMOVED AND STORED FOR CONSTRUCTION. COORDINATE WITH OWNER REGARDING STORAGE.
- REMOVE EXISTING FRYER, HOOD AND ALL ASSOCIATED ELECTRICAL EQUIPMENT. PATCH AND REPAIR ROOF, WALLS AND CEILING AS REQUIRED AFTER EQUIPMENT DEMOLITION. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- REMOVE EXISTING FASCIA FOR REPLACEMENT. PATCH AND REPAIR AREA AS REQUIRED TO RECEIVE NEW HARDI TRIM FASCIA.
- REMOVE EXISTING MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- REMOVE EXISTING VINYL SOFFITS. PATCH AND REPAIR AREA AS REQUIRED TO RECEIVE NEW HARDI SOFFIT PANELS.
- DEEP CLEAN EXISTING TILE FLOORS AT RESTROOMS.
- CLEAN, REPAIR AND PREPARE CONCRETE FLOORS AT RESTROOMS AS REQUIRED TO RECEIVE NEW EPOXY FINISH.
- DEEP CLEAN EXISTING EXTERIOR CMU WALLS AT AREAS THAT WILL BE EXPOSED AFTER NEW SIDING IS INSTALLED. PREPARE TO RECEIVE NEW PAINT.
- SAND AND PREPARE INTERIOR HOLLOW METAL DOORS AND FRAMES TO RECEIVE NEW PAINT. EXISTING DOOR HARDWARE TO REMAIN.
- PREPARE EXISTING PAINTED SHELVING WITHIN CONCESSIONS AREA TO RECEIVE NEW PAINT.

DEMOLITION SECOND FLOOR PLAN



DEMOLITION FIRST FLOOR PLAN

