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GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO REVIEW EXISTING CONDITIONS. BIDS SHALL REFLECT ALL COSTS AFFECTING THE SCOPE-OF-WORK, EXISTING CONDITIONS & SITE ACCESS LIMITATIONS.
- ALL PENETRATIONS OF EXISTING ROOF SHALL BE PROTECTED WITH TEMPORARY WATERPROOF COVERINGS & CLOSURES AT ALL TIMES. DAMAGE TO THE BUILDING AS A RESULT OF UNPROTECTED PENETRATIONS OR DAMAGE DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, CORRECTED AND IMMEDIATELY MADE WATERTIGHT, WITHIN 8 HOURS.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES.

DEMOLITION NOTES

DIVISION 8 - OPENINGS DEMO

2.8620 REMOVE EXISTING SKYLIGHTS AND DISPOSE. PREP FOR NEW SKYLIGHTS.

CONSTRUCTION NOTES

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.601 FLASH ROOF FAN AND RTU PACKAGE AT KITCHEN EXHAUST HOOD.
7.602 FLASH EXISTING EPDM ROOF SEAMS AND PENETRATIONS. TAPE AND SEAL.
7.603 FLASH ROOF PENETRATIONS AT WALL MOUNTED HEAT PUMPS.

DIVISION 8 - OPENINGS

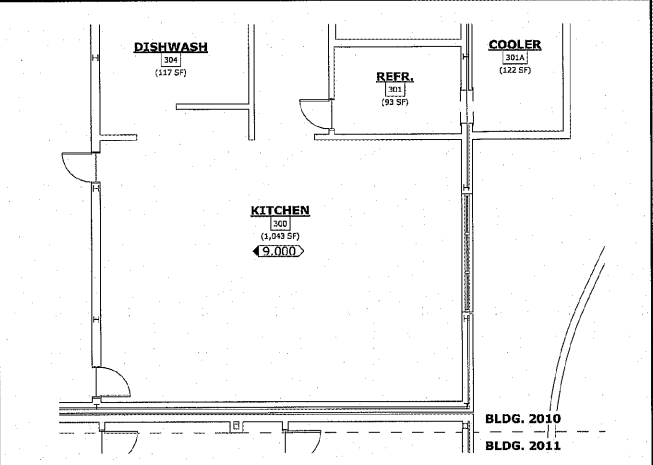
8.620 INSTALL NEW INSULATED SKYLIGHTS. INSTALL NEW CURB AND FLASHING.

DIVISION 9 - FINISHES

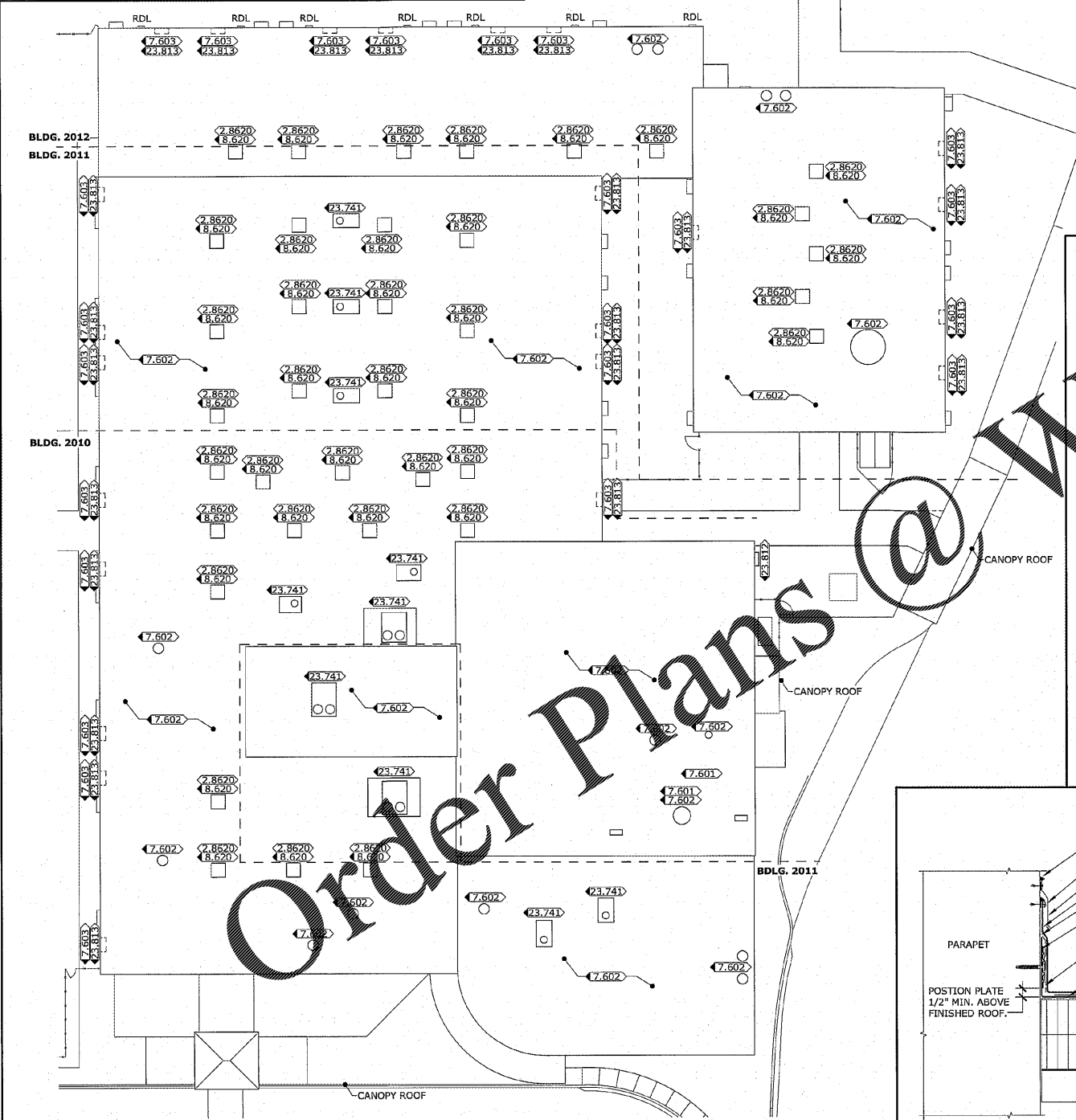
9.000 INSTALL NEW STAINLESS STEEL CLOSURE AT KITCHEN HOOD BULLHEAD.

DIVISION 23 - HVAC

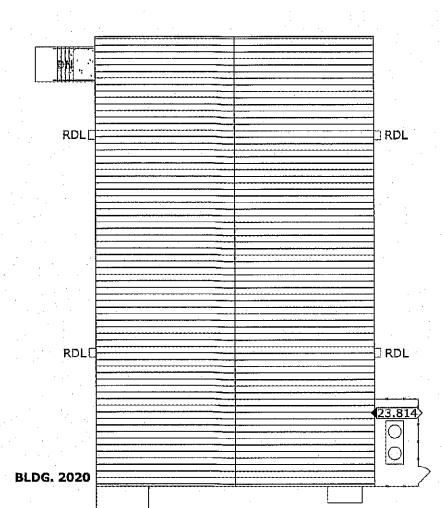
23.812 REPLACE EXISTING MINI-SPLIT HVAC SERVING KITCHEN OFFICE.
23.813 CLASSROOM HVAC WALL MOUNTED HEAT PUMP REPAIRS IN EXISTING HVAC SYSTEM.
A. INSTALL BIPOLAR IONIZATION (BPI) UNITS IN EXISTING HVAC SYSTEM.
B. RE-INITIATE OUTDOOR AIR FLOW CONTROLS AND REBALANCE PER OUTDOOR AIR TO CORRIDOR.
C. RECOMMISSION UNITS CONTROLS. VERIFY OPERATION OF DEHUMIDIFICATION CONTROLS SEQUENCE.
23.814 REPLACE EXISTING HVAC 20 TON SPLIT SYSTEM.
23.741 REPLACE ALL ROOF TUNING UNITS (RTU) AND REFLASH.



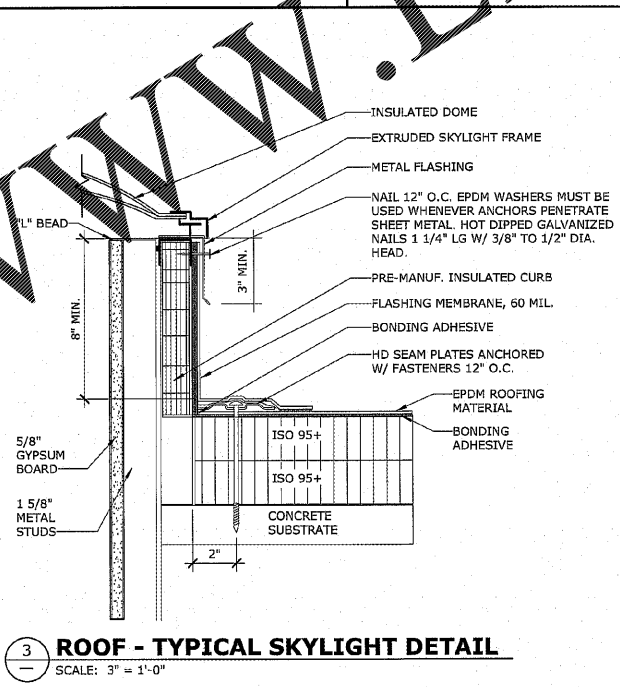
1 ENLARGED FLOOR PLAN - KITCHEN
SCALE: 1/8" = 1'-0"



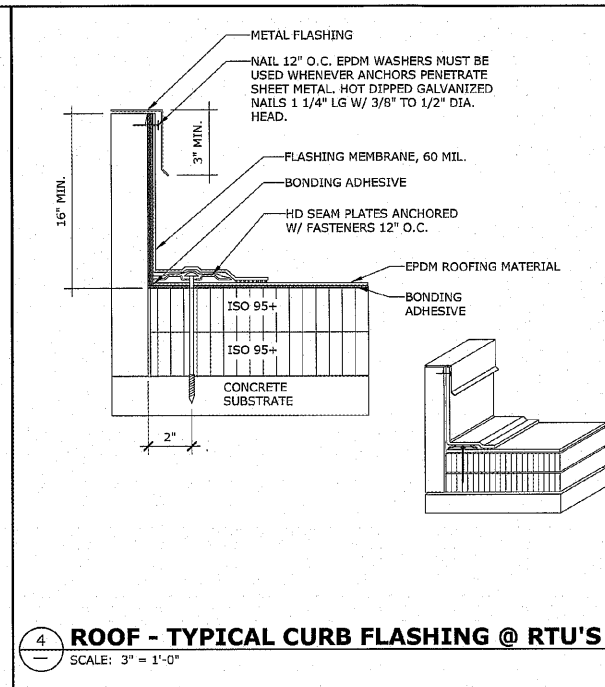
2 ROOF PLAN
SCALE: 1" = 20'-0"
SCALE: 1" = 20'-0"



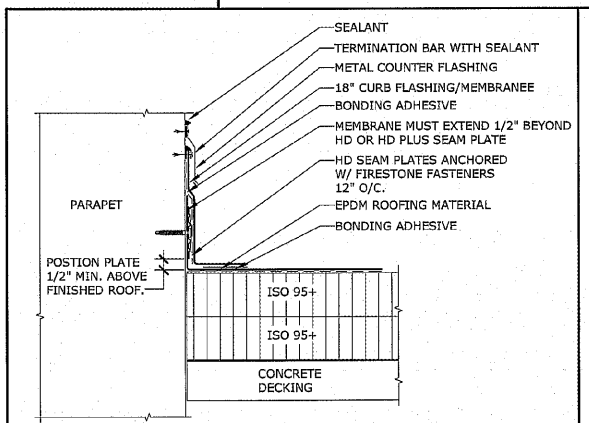
ABBREVIATIONS:
RDL - ROOF DRAIN LINE



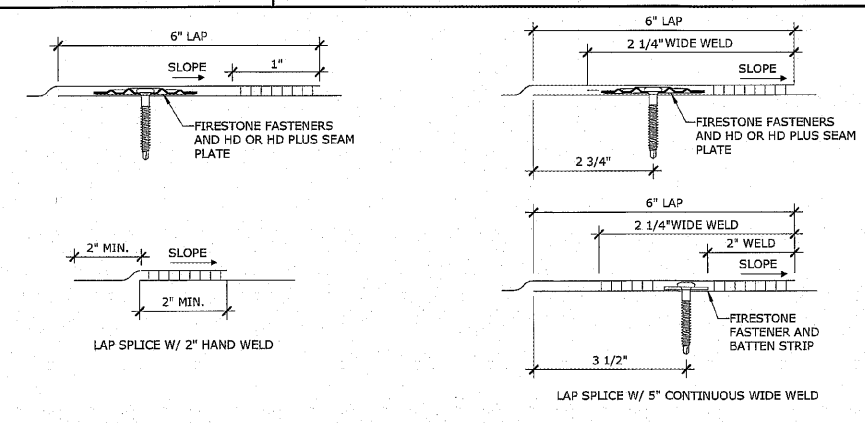
3 ROOF - TYPICAL SKYLIGHT DETAIL
SCALE: 3" = 1'-0"



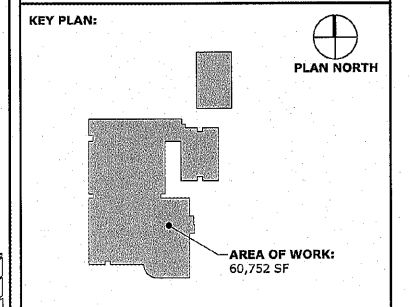
4 ROOF - TYPICAL CURB FLASHING @ RTU'S
SCALE: 3" = 1'-0"



5 ROOF - TYPICAL SIDEWALL FLASHING
SCALE: 3" = 1'-0"



6 ROOF - TYPICAL LAP SEAM DETAILS
SCALE: 6" = 1'-0"



REVISIONS:

Date	Description

**TERRACE MANOR
ELEMENTARY
SCHOOL ROOF AND
HVAC**

FOR
RICHMOND COUNTY BOARD OF EDUCATION
RCBOE # B-18-012-4330
3110 TATE ROAD AUGUSTA, GA

DRAWING TITLE

**ENLARGED PLAN
AND ROOF PLAN**

PROJECT NO.	20-14	DRAWING NO.	
DATE	12/07/2020	DRAWN BY	RS
PAPER	24"x36"	ISSUE	ISSUE FOR BID

A1.2

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