

GENERAL NOTES

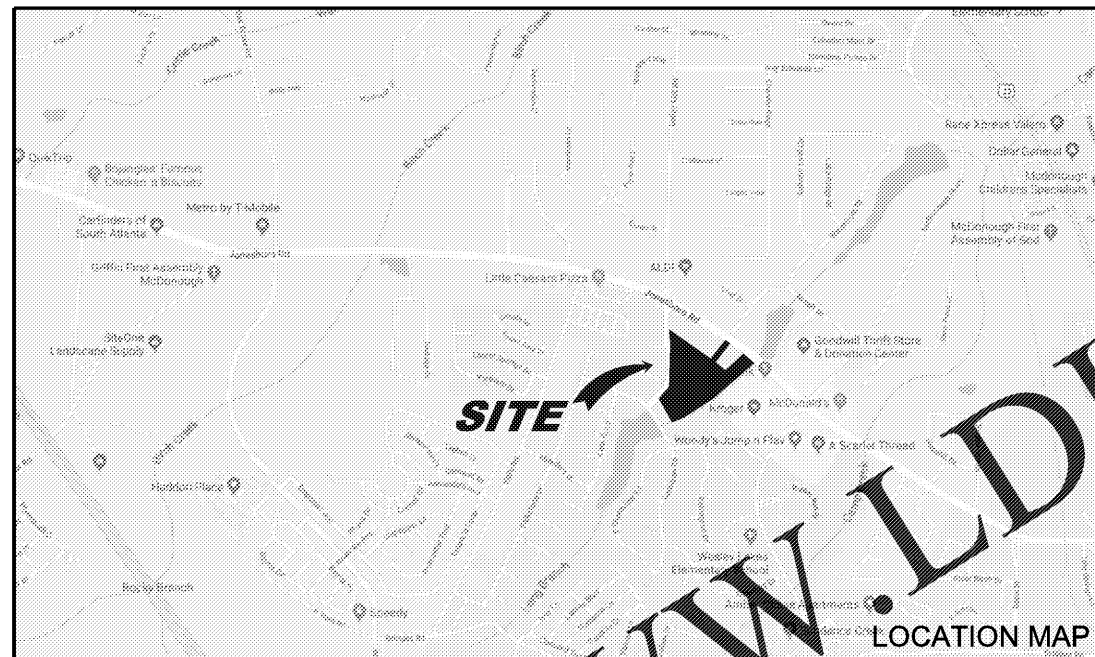
- PROJECT IS LOCATED IN LAND LOT 126, 7th DISTRICT CITY OF McDONOUGH, GEORGIA. SITE IS ZONED RM75. TOTAL PARCEL AREA IS 22.78 ACRES, AREA DISTURBED IS 5.1 ACRES.
- 24 HOUR EMERGENCY CONTACT: Ronnie Thompson 678-409-8237.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH HENRY COUNTY STANDARDS AND REGULATIONS, LATEST REVISIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY COUNTY INSPECTORS FOR ALL REQUIRED INSPECTIONS. NOTIFY COUNTY INSPECTOR AT LEAST 24 HOURS PRIOR TO BEGINNING EVERY PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING GRADES AND DIMENSIONS AND TO NOTIFY OWNER IN WRITING OF DISCREPANCIES.
- ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH GEORGIA EROSION CONTROL AND SEDIMENTATION ACT OF 1975 SHALL BE INSTALLED PRIOR TO GRADING.
- THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS HAVE BEEN PAVED. EROSION CONTROL MEASURES OTHER THAN THOSE CALLED FOR MAY BE NECESSARY.
- EXISTING UTILITY LOCATIONS ARE SHOWN FOR INFORMATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING BOTH THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE HIS OPERATIONS WITH ALL UTILITIES WHICH MAY BE EXISTING AND MAY BE IN CONFLICT WITH HIS WORK. THE CONTRACTOR IS TO PROTECT AND MAINTAIN SUCH UTILITIES.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY EXISTING UTILITY SERVICES INCLUDING BUT NOT LIMITED TO GAS, ELECTRICITY, WATER AND SEWER, AND SHALL REMOVE AND PLUG ALL SUCH SERVICES IF NECESSARY IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE AUTHORITIES.
- REFER TO THE DEMOLITION PLANS FOR CLEARING LIMITS OF ALL BUILDINGS, TREES, VEGETATIVE GROWTH, DEBRIS, ORGANIC SOIL OR OTHER UNSUITABLE MATERIALS FOUND WITHIN THE LIMITS OF CONSTRUCTION.
- PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN AGAINST DAMAGE TO BARK OR ROOTS BY AVOIDING STOCKPILING, PARKING AND EXCESSIVE TRAFFIC WITHIN THE DRIPLINE.
- STRIP TOPSOIL TO WHATEVER DEPTH ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SOILS OR THE OBJECTIONABLE MATERIALS.
- ALL EXCAVATIONS SHALL BE ADEQUATELY BRACED OR SLOPED, MAXIMUM CUT/FILL SLOPE IS 2 HORIZONTAL: 1 VERTICAL.
- ALL FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8" IN LOOSE DEPTH COMPACTED TO 95% OF THE MAXIMUM LABORATORY DRY WEIGHT PER CUBIC FOOT AS DETERMINED BY AASHTO METHOD T-99. BUILDING PAD AND PARKING AREAS TO BE COMPACTED TO 98% FOR THE UPPER 12" OF FILL. FIELD DENSITY TESTS OF ALL FILL SHALL BE PERFORMED DURING ITS CONSTRUCTION. THE CONTRACTOR IS TO SCHEDULE AND REPORT TESTS IN A TIMELY MANNER.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE OWNER SHOWING AS-BUILT LOCATIONS (MEASUREMENTS) AND ELEVATIONS OF ALL SITE SEWER AND WATER UTILITIES.

15. FLOOD STATEMENT: PROPERTY IS IN A F.I.R.M. FLOOD HAZARD ZONE. REFERENCE F.I.R.M. COMMUNITY PANEL NUMBER 13151C0158D DATED: OCTOBER 6, 2016

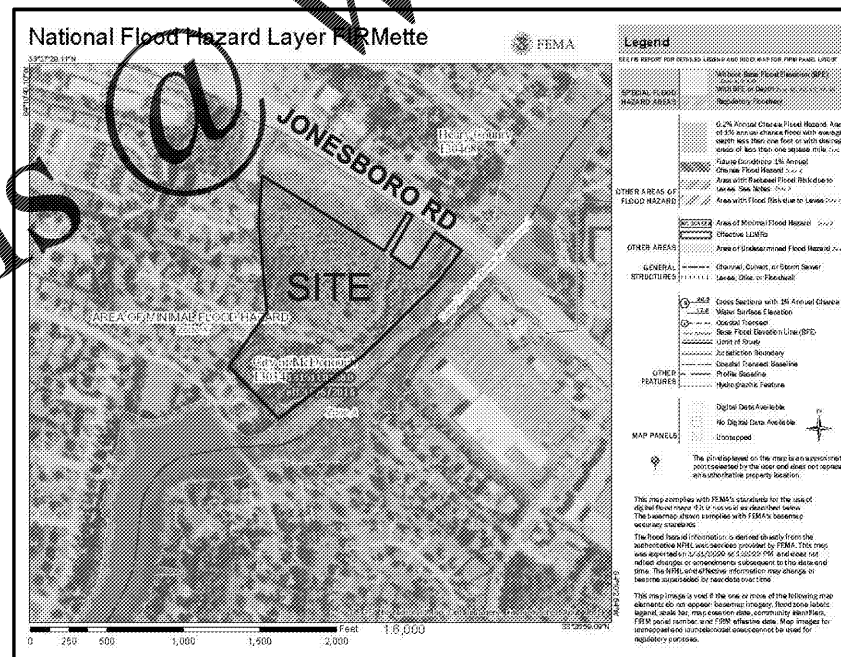
16. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM LAND ENGINEERING AND FIELD TOPOGRAPHIC DATA FROM McDONOUGH GIS and VAUGHN & MELTON

17. ALL REFERENCES TO GEORGIA DOT REFER TO GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF ROADS AND BRIDGES, CURRENT EDITION, UNLESS OTHERWISE NOTED.

CONSTRUCTION PLANS FOR: JONESBORO ROAD PARK



CITY OF McDONOUGH
Land Lot 126 / 7th District
HENRY COUNTY, GEORGIA



FLOOD MAP

TOTAL SITE AREA = 22.78 Ac
TOTAL DISTURBED AREA = 5.1 Ac
TOTAL IMPERVIOUS AREA = 1.84 Ac. (80,750 S.F.)

McDONOUGH NOTES

PERMIT CARDS MUST BE POSTED ON-SITE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY AND CLEARLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. PERMIT CARDS SHALL NOT BE ATTACHED TO PUBLIC UTILITY/TRAFFIC CONTROL DEVICES OR TREES.

SOIL EROSION PROTECTION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBING ACTIVITY

RE-INSPECTION FEES SHALL BE ASSESSED, WHERE APPLICABLE, WHEN WORK HAS NOT BEEN COMPLETED AND/OR ACCESS TO THE JOBSITE IS UNAVAILABLE

A COPY OF THE APPROVED PLANS SHALL BE MAINTAINED ON-SITE AT ALL TIMES AND AVAILABLE FOR INSPECTORS.

ALL REQUESTS FOR INSPECTIONS, RESIDENTIAL AND NON-RESIDENTIAL, SHALL BE RECEIVED ON THE 24-HOUR INSPECTION REQUEST LINE AT (770) 857-2275.

ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY MARKED WITH TREE SAVING FENCE PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY. TAPING IS NOT AN APPROVED SUBSTITUTE FOR REQUIRED FENCING.

APPROVED CONSTRUCTION PADS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

THE TRACKING OF MUD INTO PUBLIC RIGHT-OF-WAY IS A VIOLATION OF THE McDONOUGH CITY ORDINANCES.

PORTABLE TOILETS MUST BE PROVIDED AND MAINTAINED ON THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT.

APPROVED REFUSE CONTAINERS SHALL BE PROVIDED AND MAINTAINED ON-SITE DURING CONSTRUCTION ACTIVITY AND SHALL NOT OCCUPY PUBLIC RIGHT-OF-WAY.

ALL SIGNS, TEMPORARY AND PERMANENT, THE LOCATION, NUMBER, AND SIZE REQUIRE A SEPARATE PERMIT AND FEE.

NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

ANY DEVIATIONS OR SUBSTITUTIONS FROM THE APPROVED PLANS WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF McDONOUGH SHALL CAUSE THE WORK TO BE DEEMED UNACCEPTABLE.

ANY PROPOSED CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS MUST BE SUBMITTED TO THE CITY OF McDONOUGH FOR REVIEW AND APPROVAL.

NO OUTSIDE STORAGE PROPOSED. THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC.

DRIVE-THRU FACILITIES MUST BE LEGALLY PERMITTED THROUGH THE CITY OF McDONOUGH COMMUNITY DEVELOPMENT DEPARTMENT.

HIGH INTENSITY LIGHTING FACILITIES SHALL BE ARRANGED SO THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.

ALL COMMON OPEN SPACE, DETENTION FACILITIES SHALL BE DEEDDED TO AND MAINTAINED BY A MANDATORY PROPERTY OWNER'S ASSOCIATION.

IT'S THE LAW. CALL 811 BEFORE YOU DIG, UTILITIES PROTECTION CENTER. 72 HOUR NOTICE REQUIRED.

DEVELOPER SHALL NOTIFY THE CITY OF McDONOUGH COMMUNITY DEVELOPMENT DEPARTMENT - BUILDING DIVISION AT LEAST 24 HOURS BEFORE ANY START OF CONSTRUCTION BEGINS (678) 432-4622.

GSWCC Georgia Soil and Water Conservation Commission
Paul K. Hammon
 Level II Certified Design Professional
 CERTIFICATION NUMBER: 0000026748
 ISSUED: 05/13/2018 EXPIRES: 05/13/2021

CONSTRUCTION SCHEDULE	
MONTH	ACTIVITY
MONTH 1	EROSION CONTROL & TREE PROTECTION
MONTH 1	INSTALL BASIN TO FULLY FUNCTION
MONTH 1	CLEARING & GRUBBING
MONTH 1	GRADING
MONTH 1	TEMP. VEGETATION
MONTH 1	DETENTION / UTILITIES
MONTH 1	CURSING/PAVING
MONTH 1	BUILDING CONSTRUCTION
MONTH 1	PERM. VEGETATION
MONTH 1	REMOVE TEMP. STRUCTURES

DATES ARE APPROXIMATE AND MAY VARY DUE TO INCREMENT WEATHER, SITE CONDITIONS, REVISIONS TO PLAN, CONTRACTOR SCHEDULE, ETC.
 ANTICIPATED START: MAY, 2017 - END: MAY, 2018

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JONESBORO ROAD PARK

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24 HR CONTACT
 RONNIE THOMPSON: 678-409-8237
 136 KEYS FERRY STREET
 CITY OF McDONOUGH
 HENRY COUNTY, GA

1	SUBMIT FOR REVIEW	4/24/2020
2	REVISED ADDED RCUT AND ISLANDS. REPLACED MANHOLES WITH JUNCTION BOX CHANGED RADIUS AND REMOVED 1 SW	5/6/2020
3	ADDED QUICK CURB	5/13/2020
4	REVISED: ADDED DELINEATORS TO QUICK CURB REPLACED EXISTING R1-1 SIGN AND STOP BAR FIXED NOTE REMOVING EXISTING PIPE	5/19/2020
5	REVISED: MODIFIED 8' SIDEWALK PATH, REMOVED PARKING SPACES, ADDED EXISTING GAS LINES, CHANGED CORNER HATCHING ON MICAH DR	06/17/2020
No.	REVISION	DATE



PKH, FvL
 DESIGN SCALE AS SHOWN
 PTJ, PKH
 DRAWN
 RCS
 CHECKED SHEET
 5/19/20 DATE 0717xx.xx PROJECT No. **C-00**

THE INSTALLATION OF EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES AND TREE PROTECTION MEASURES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES