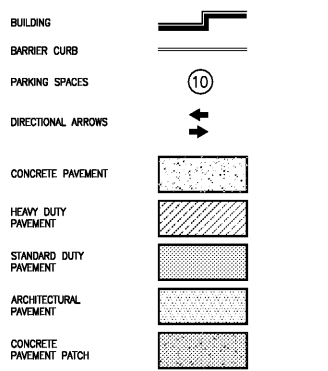
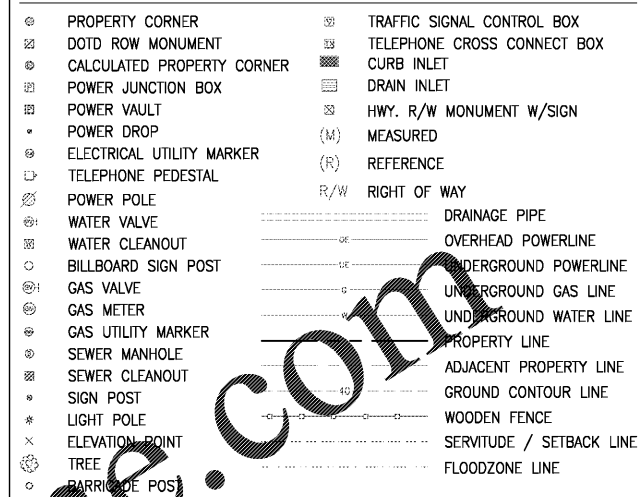


LEGEND - NEW IMPROVEMENTS



LEGEND - EXISTING



AREA ANALYSIS

TRACT 1-C	0.688 ACRES
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SITE ANALYSIS

BUILDING (EXPRESS OIL)	2,208 S.F.
BUILDING (SERVICE BUILDING)	3,293 S.F.
BUILDING (TOTAL)	5,501 S.F.
PARKING (LOT STALLS)	18 SPACES
PARKING (SERVICE BAY STALLS)	8 SPACES
PARKING (TOTAL)	26 SPACES
RATIO	4.73 / 1000 S.F.

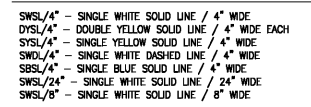
SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOIL, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 06-24-2020 BY DUPLANTIS DESIGN GROUP, P.C.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF Pylon SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE SITEWORK SPECIFICATIONS & THE GEOTECHNICAL RECOMMENDATIONS.
- ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION.
- ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH LOUISIANA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH LOUISIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE PROPERTIES SHOWN HEREIN ARE WITHIN ZONE AE, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 2200580270E DATED MAY 2, 2008.
- THIS PROPERTY HAS A FIRM BASE FLOOD ELEVATION OF 40.00 AND A INUNDATION ELEVATION OF 39.70 AS DETERMINED BY EAST BATON ROUGE PARISH ZFD FLOODS DATED 7/30/2020.
- A SEPARATE PERMIT IS REQUIRED FOR ALL BUSINESS SIGNAGE.
- ALL DIRECTIONAL PAVEMENT MARKINGS (ARROWS, GOES, STOP BARS) SHALL BE THERMOPLASTIC.

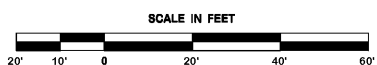
SITE LAYOUT NOTES:

- SITE AREA = +/- 0.688 ACRES.
- DIMENSIONS ARE TO FACE OF CURB / CENTER OF STRIPE UNLESS OTHERWISE NOTED.
- DIMENSIONS MARKED WITH AN ASTERISK (*) ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY & SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

LEGEND - STRIPING



SITE PLAN



Not For Construction



Order Plans @

REVISION	BY

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Thibodaux, LA 70301
Office: 985.447.0090
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www.ddgpc.com

SIGNATURE: *[Signature]*
DATE: 09-27-2020

PROPOSED EXPRESS OIL CHANGE
BATON ROUGE, LOUISIANA
EAST BATON ROUGE PARISH
FOR EXPRESS OIL CHANGE
BIRMINGHAM, ALABAMA

DRAWN G.P.
CHECKED BAB
ISSUED DATE 09-27-2020
ISSUED FOR PERMIT
PROJECT NO. 20-197
FILE 20-197 C-1 SITE
SHEET C-1