

A NEW INTERIOR BUILD-OUT FOR: WEST ASHEVILLE FAMILY VETERINARY HOSPITAL

547 HAYWOOD ROAD
ASHEVILLE, NC 28809



ABBREVIATIONS

A	ACCESS	J, K, L	ACCESSORY
ACOUS	ACOUSTICAL	JAN	JANITOR
ACT	ACOUSTICAL CEILING TILE	KIT	KITCHEN
AFF	ABOVE FINISHED FLOOR	LAM	LAMINATE
AL	ALUMINUM	LAV	LAVATORY
ALT	ALTERNATE	LB	LOAD
ANNUN	ANNUNCIATOR	LT	LIGHT
ANNOC	ANNOUNCED	LVLG	LEVELING
APPL	APPLIANCE	LVR	LOUVER
ARCH	ARCHITECTURAL	M	MEMBRANE
AUTO	AUTOMATIC	MAX	MAXIMUM
AVG	AVERAGE	MDF	MID DENSITY FIBERBOARD
AWT	ACOUSTICAL WALL TREATMENT AND	MFG	MANUFACTURED
B	BUILDING	MFR	MANUFACTURER
BLDG	BUILDING	MESR	MESCHING
BOLLO	BOLLARD	MET	METAL
BO	BOARD	MEMB	MEMBRANE
BLOC	BLOCKING	MEZZ	MEZZANINE
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOT	BOTTOM	MLWK	MILLWORK
BRODLM	BROUCLROOM	MOIS	MOISTURE
BU	BUILT UP	MOT	MOUNT
C	CABINET	MTD	MOUNTED (DECORATIVE)
CAB	CABINET	MTD	MOUNTED
CPT	CARPET	N, O	NOT IN CONTRACT
CM	CEMENTITIOUS	NO	NUMBER
CER	CERAMIC	NTS	NOT TO SCALE
CL	CENTER LINE	ORNA	ORNAMENTAL
CLD	CEILING	OVL	OVERFLOW
COATG	COATING	OVID	OVERHEAD
COLG	COLING	OPNG	OPENINGS
COL	COLUMN	OPR	OPERABLE
CONC	CONCRETE	P	PART
CONSTR	CONSTRUCTION	PT	PARTITION
CONTR	CONTRACTOR (OR CONTRACTOR)	PDTR	PEDESTRIAN
COV	COVER	PFB	PARTICLE BOARD
CMU	CONCRETE MASONRY UNIT	PL	PLASTIC LAMINATE
D	DOUBLE	PML	PANEL
DEPT	DEPARTMENT	PLVST	POLYESTER
DES	DESIGNED	PORT	PORTABLE
DET	DETAIL	PREFM	PREFINISHED
DF	DRINKING FOUNTAIN	PRFAB	PREFABRICATED
DM	DIMETER	PLAM	PLASTIC LAMINATE
DM	DIMENSION	PLYWO	PLYWOOD
DSP	DISPENSER	PROTN	PROTECTION
DIV	DIVISION	Q	QUARTY TILE
DN	DOWN	QT	QUARTY TILE
\$	DOLLAR (US CURRENCY)	R	READER
DR	DOOR	B	RESILIENT VINYL BASE
DISCON	DISCONNECT	RDR	READER
DWG	DRAWING	RECS	RECESSED
DWR	DRAWER	RECP	RECEPTACLE
E	ELEVATION	REF	REFERENCE
EA	EXTERIOR INSULATION FINISH SYSTEM	REFL	REFLECTED
EAST	ELASTOMERIC	REFR	REFLECTOR
ELEC	ELECTRICAL	REQD	REQUIRED
ELEV	ELEVATION	RESIS	RESISTANT(IVE)
EMBED	EMBEDDED(ING)	REIN	REINFORCEMENT(MENT)
ENGR	ENGINEERING	RESL	RESILIENT
ENTR	ENTRANCE	RFG	ROOFING
EQ	EQUIPMENT	RM	ROOM
EQA	EQUIPMENT	R	ROUGH OPENING
E.T.A.	EXISTING TO REMAIN	SCR	SCRIBE
EXIST	EXISTING	SCHED	SCHEDULE
EXP JT	EXPANSION JOINT	SECUR	SECURITY
EXPS	EXPOSED	SF	SQUARE FEET
EXT	EXTERIOR	SG	SINGLE
F	FABRICATION	SHDR	SHOORTHING
FD	FLOOR DRAIN	SM	SMILAR
FE	FIRE EXTINGUISHER	SL	SOLES FLOORING
F&C	FIRE EXTINGUISHER AND CABINET	SS	SOLID SURFACE
FIG	FIRE HOSE CABINET	SST	STAINLESS STEEL
FIN	FINISH	STD	STANDARD
FLOD	FOLDING	STL	STEEL
FRLC	FIRE RESISTANCE	STFR	STOREFRONT
FR	FIRE RATING(ED)	STRUC	STRUCTURAL
FRMD	FRAMING	SURF	SURFACE
FRD	FIXED	SUSP	SUSPENDED
FTR	FIXTURE	SYS	SYSTEMS
FLR	FLOORING	T	TREATMENT
FURN	FURNITURE	TEL	TELEPHONE
FWC	FABRIC WALL COVERING	THK	THICK
G	GAUGE	TLT	TOILET
GFRP	GLASS FIBER REINFORCED CONCRETE	TO	TOP OF
GFRP	GLASS FIBER REINFORCED GYPSUM	TOF	TOP OF
GL	GLASS	TRAF	TRAFFIC
GND	GROUNDING	TRAMP	TRAMPOLINE
GYP	GYPSUM	TREAT	TREATED
H	HEAD	TNGUE	TONGUE AND GROOVE
HWD	HARDWOOD	TV	TELEVISION
HWE	HARDWARE	U, V	UNDERLAYMENT
HM	HOLLOW METAL	UTL	UTILITY
HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VB	VINYL BASE
I	INFORMATION	VCT	VINYL COMPOSITION TILE
INFO	INFORMATION	VEH	VEHICLE
INSTRM	INSTRUMENTATION	VERT	VERTICAL
INSUL	INSULATION	VF	VERIFY IN FIELD
INTK	INTERLOCKING	W	WIDTH/WISE
INT	INTERIOR	WC	WATER CLOSET OR WALLCOVERING
INFTRF	INFILTRATION	WD	WOOD
		WDW	WINDOW
		W/O	WITHOUT
		WP	WALL PROTECTION
		WT	WEIGHT / WALL TILE
		WTRPF	WATERPROOFING

CODE COMPLIANCE NOTE

ALL WORK IS TO BE DONE IN ACCORDANCE WITH ALL GOVERNING CODES AND REGULATING AGENCIES. THIS PROJECT IS DESIGNED AND DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH ADA GUIDELINES PER THE BUILDING CODE AMENDMENT SECTION 1101.2. VARIOUS GOVERNING AGENCIES SOMETIMES INTERPRET THE CODES, LAWS AND ORDINANCES DIFFERENTLY. THESE AGENCIES HAVE JURISDICTION TO REQUIRE CHANGES IN DESIGN AND CONSTRUCTION INCLUDING THOSE AGENCIES INVOLVED WITH THE AMERICANS WITH DISABILITIES ACT.

FOR FULL CODE NOTES REFER TO SHEET A0.2

PROJECT DESCRIPTION - SCOPE OF WORK

TOTAL "AREA OF WORK" SQUARE FOOTAGE: 2,835

NUMBER OF STORIES: 1

CONSTRUCTION TYPE: 5-B

RENOVATION

ADDITION (or EXPANSION)

CHANGE IN USE

SPRINKLERED

FIRE ALARM

* INDICATES THIS FIELD APPLIES
- INDICATES THIS DOES NOT APPLY

PROJECT DESCRIPTION
A NEW TENANT SPACE BUILD-OUT FOR A 1-STORY VETERINARY HOSPITAL (GROUP B OCCUPANCY). FLOOR PLAN: 2,695 SF. CHANGE IN OCCUPANCY CLASSIFICATION FROM MERCHANTILE (M) TO BUSINESS (B). SCOPE OF WORK INCLUDES INSTALLATION OF METAL STUD / GYP RD WALLS, SUSPENDED CEILING, CABINETRY, MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS. EXTERIOR WORK CONSISTS OF EXTERIOR SIGNAGE.

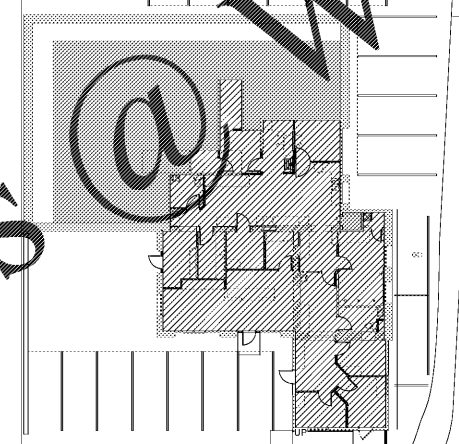
NO BREEDING OR BOARDING FACILITIES ARE INCLUDED.

WORK RESTRICTIONS

- REMOVE WASTE AND LEGALLY DISPOSE OFF SITE DAILY.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- CONTACT RESPECTIVE UTILITY COMPANIES FOR EXACT LOCATION OF APPLICABLE UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PROTECT UTILITIES BELOW GROUND AND ABOVE GROUND AND TO NOT INTERFERE SERVICE TO THE TENANT OR ANY NEIGHBORING PROPERTIES.
- COORDINATE SCHEDULE AND SEC. APPROVAL FROM THE PROPERTY OWNER / LANDLORD AND TENANTS BEFORE COMMENCING ANY WORK. COOPERATE WITH TENANTS TO MINIMIZE CONFLICT AND FACILITATE THEIR OPERATIONS, ESPECIALLY, BUT NOT LIMITED TO:
 - a. WORK SCHEDULED BEFORE AND/OR AFTER NORMAL BUSINESS HOURS
 - b. STORED MATERIAL
 - c. NOISY WORK
- DO NOT STORE COMBUSTIBLE MATERIALS ON THE PREMISES FOR A PERIOD LONGER THAN NECESSARY FOR EXECUTION OF THE PROJECT.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH FIRE CODE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE ALL BARRICADES, ETC., AS REQUIRED BY LAW, CODE, OR ORDINANCE AND AS OTHERWISE REQUIRED.

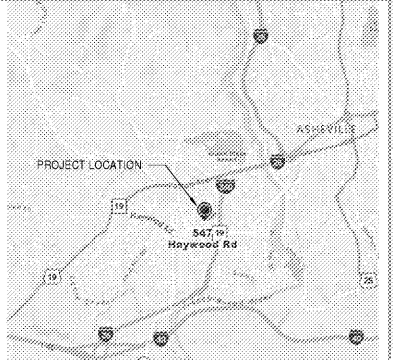
GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.
- GENERAL CONTRACTOR TO COORDINATE WORK OF ALL TRADES. COORDINATION SHALL INCLUDE SCHEMING SCOPE, INCLUDING THE SCOPE OF PLUMBING, ELECTRICAL, AND CEILING HEIGHTS, BEFORE COMMENCING ANY WORK. THE CONTRACTOR SHALL SUBMIT ALL WORK TO ARCHITECT / ENGINEER FOR REVIEW.
- THE GENERAL CONDITIONS AND SPECIAL CONDITIONS ARE THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION DOCUMENT A201, CURRENT EDITION, A COPY OF WHICH IS ON FILE AND MAY BE EXAMINED IN THE OFFICE OF THE ARCHITECT.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN THE TERMS OF ARCHITECTURAL DESIGN CONCEPTS. DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE BASIC STRUCTURAL SYSTEM. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. THE TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TRADE SERVICES, AND FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION OF THE PROJECT.
- ALL OR PART OF THESE DOCUMENTS WERE GENERATED BY ELECTRONIC MEANS. THE ARCHITECT IS RELYING ON THE ACCURACY OF THE SOFTWARE EMPLOYED.
- THE RESPONSIBILITY OF EACH CONTRACTOR TO BECOME FAMILIAR WITH THE PROJECT AND TO CHECK ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- NO MATERIAL SUBSTITUTIONS WILL BE ALLOWED UNLESS SUBMITTED IN WRITING TO THE ARCHITECT. SUBMIT REQUEST FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO THE ARCHITECT PER SPECIFICATION MANUAL REQUIREMENTS PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- INCLUDE WORK PROVIDED BY OWNER IN CONSTRUCTION PROGRAM SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE EACH SUB CONTRACTOR ONE ENTIRE SET OF PLANS INCLUDING THE SPECIFICATIONS BOOK FOR THEIR COORDINATION BETWEEN EACH DISCIPLINE. ALL BIDS SHALL BE BASED ON THE ENTIRE SET OF CONSTRUCTION DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF DOCUMENTS. IN CASE OF INCONSISTENCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY.
- ALL SECURITY WORK SHALL BE BY OWNER'S VENDOR UNLESS NOTED OTHERWISE. HEREWITHIN, CONDUIT AND BACK BOXES WITH FULL STRINGING IS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE VCA FIELD REPORT FORM INCLUDING DESCRIPTIVE PHOTOGRAPHS BI-WEEKLY TO VCA AND ARCHITECT. THE VCA FIELD REPORT FORM IS A PRE-REQUISITE TO EACH PAY APPLICATION AND SHALL BE SUBMITTED WITH EACH DRAW REQUEST.
- A FULL TIME SUPERINTENDANT SHALL BE ON SITE FOR PROJECT AT ALL TIMES.
- ALL SECURITY WORK SHALL BE BY FAMILY VET GROUP'S SECURITY VENDOR UNLESS OTHERWISE NOTED HEREWITHIN. CONDUIT AND BACK BOXES WITH FULL STRINGING IS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL PHONE AND DATA CABLING IS PROVIDED AND INSTALLED BY FAMILY VET GROUP'S VENDOR.

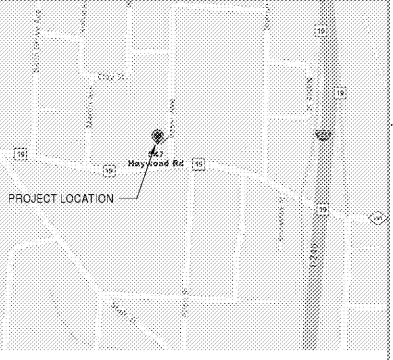


KEY PLAN

VICINITY MAP



PROJECT LOCATION MAP



PROJECT TEAM

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TENANT

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DEFERRED PERMIT SUBMITTALS		
EXTERIOR SIGNAGE: EXTERIOR SIGNAGE VENDOR IS TO PROVIDE ENGINEERED DOCUMENTS THAT ARE COORDINATED WITH LANDLORD AND TENANT CRITERIA AND PER LOCAL CODES. VENDOR WILL BE RESPONSIBLE FOR OBTAINING ANY APPLICABLE PERMITS.		
SCOPE OF WORK RESPONSIBILITY		
DESCRIPTION	CONTRACTOR	OWNER
HAZARDOUS MATERIAL ABATEMENT	X	
DEMOLITION	X	
ARCHITECTURAL	X	
PLUMBING	X	
MECHANICAL	X	
ELECTRICAL	X	
LOW VOLTAGE: SECURITY, ACCESS CONTROL		X
FIRE ALARM		bd
PHONE AND DATA WIRING	X	
CONDUIT / BACKBOXES FOR LOW VOLTAGE	X	
CONDUIT / BACKBOXES FOR PHONE AND DATA	X	
EXTERIOR SIGNAGE		X
INTERIOR SIGNAGE	X	

WEST ASHEVILLE FAMILY VET HOSPITAL
 547 HAYWOOD ROAD
 ASHEVILLE, NC 28809
 TITLE SHEET



T1.0
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 CONTRACTOR: _____
 OWNER: _____