



JACKSON COUNTY  
**ANIMAL RESCUE CENTER AND GREEN ENERGY PARK**  
 DILLSBORO, NORTH CAROLINA

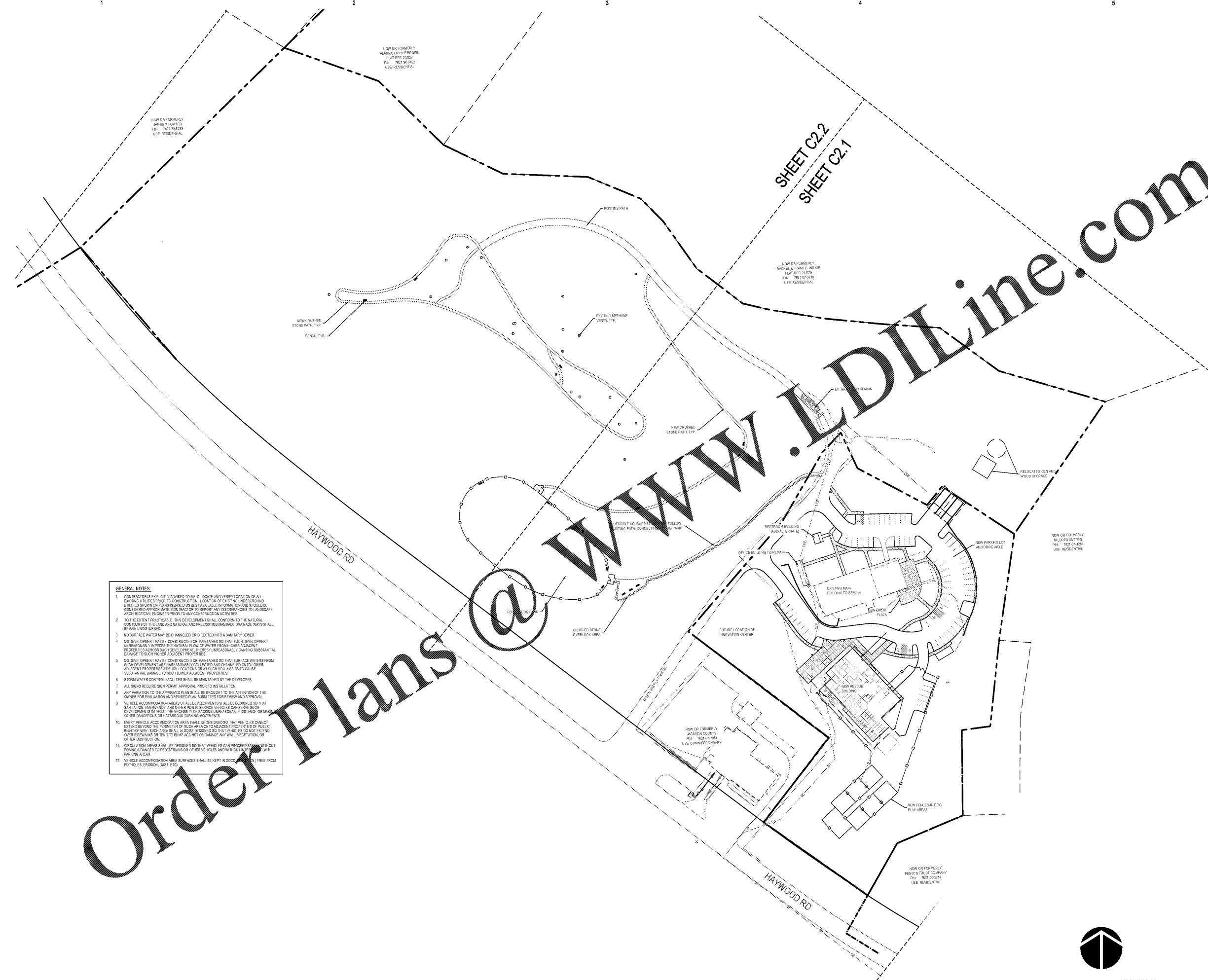
SHEET ISSUE NO.	DATE	DESCRIPTION	BY
1	9/2/2020	ISSUE FOR BID + PERMIT	WR



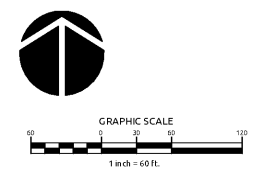
PRINCIPAL IN CHARGE: GARY WARNER  
 PROJECT ARCHITECT: WR  
 DRAWN BY: WR

**OVERALL SITE PLAN**

SHEET NO. C2.0 PROJ. NO. 02-191340



- GENERAL NOTES:**
1. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECTURAL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  2. TO THE EXTENT PRACTICABLE, THIS DEVELOPMENT SHALL CONFORM TO THE NATURAL CONTOURS OF THE LAND AND NATURAL AND PREEXISTING MANMADE DRAINAGE SWAYS SHALL REMAIN UNDISTURBED.
  3. NO SURFACE WATER MAY BE CHANNELED OR DIRECTED INTO A SANITARY SEWER.
  4. NO DEVELOPMENT MAY BE CONSTRUCTED OR MAINTAINED SO THAT SUCH DEVELOPMENT UNREASONABLY IMPEDES THE NATURAL FLOW OF WATER FROM HIGHER ADJACENT PROPERTIES ACROSS SUCH DEVELOPMENT, THEREBY UNREASONABLY CAUSING SUBSTANTIAL DAMAGE TO SUCH HIGHER ADJACENT PROPERTIES.
  5. NO DEVELOPMENT MAY BE CONSTRUCTED OR MAINTAINED SO THAT SURFACE WATERS FROM SUCH DEVELOPMENT ARE UNREASONABLY COLLECTED AND CHANNELED ONTO LOWER ADJACENT PROPERTIES AT SUCH LOCATIONS OR AT SUCH VOLUMES AS TO CAUSE SUBSTANTIAL DAMAGE TO SUCH LOWER ADJACENT PROPERTIES.
  6. STORM WATER CONTROL FACILITIES SHALL BE MAINTAINED BY THE DEVELOPER.
  7. ALL SIGNS REQUIRE SIGN PERMIT APPROVAL PRIOR TO INSTALLATION.
  8. ANY VARIATION TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR EVALUATION AND REVISED PLAN SUBMITTED FOR REVIEW AND APPROVAL.
  9. VEHICLE ACCOMMODATION AREAS OF ALL DEVELOPMENT SHALL BE DESIGNED SO THAT SIMULTANEOUS EMERGENCY AND OTHER PUBLIC SERVICE VEHICLES CAN SERVE SUCH DEVELOPMENT WITHOUT THE NECESSITY OF BACKING UNREASONABLE DISTANCE OR MAKE OTHER DANGEROUS OR UNDESIRABLE TURNING MOVEMENTS.
  10. EVERY VEHICLE ACCOMMODATION AREA SHALL BE DESIGNED SO THAT VEHICLES CAN STOP EXTENDING BEYOND THE PERIMETER OF SUCH AREA ON ADJACENT PROPERTIES OF PUBLIC RIGHT-OF-WAY. SUCH AREA SHALL ALSO BE DESIGNED SO THAT VEHICLES DO NOT EXTEND ONTO SIDEWALKS OR TEND TO BUMP AGAINST OR DAMAGE ANY WALL, VEGETATION, OR OTHER OBSTRUCTION.
  11. CIRCULATION AREAS SHALL BE DESIGNED SO THAT VEHICLES CAN PROCEED WITHOUT FORMING A DANGER TO OTHER TRAFFIC OR OTHER VEHICLES AND WITHOUT INTERFERENCE WITH PARKING AREAS.
  12. VEHICLE ACCOMMODATION AREA SURFACES SHALL BE KEPT IN GOOD CONDITION (FREE FROM POTHOLES, SLOTTING, DUST, ETC).



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