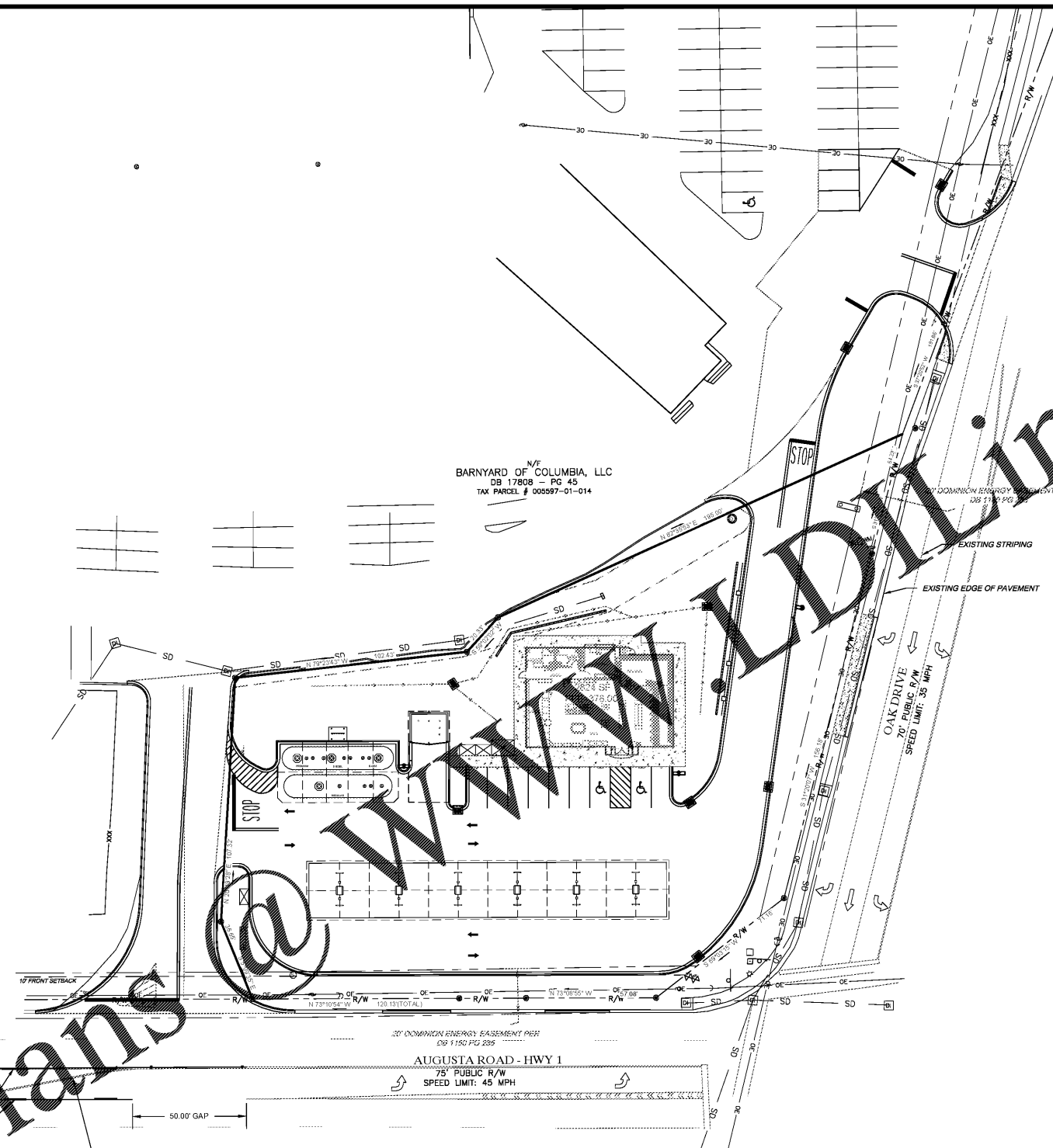


Order Plans



LEGEND

EXISTING		LIGHT POLE	
SANITARY MANHOLE		POWER POLE	
SANITARY SEWER LINE		GUY WIRE	
SEWER FORCE MAIN		ELECTRICAL TRANSFORMER	
AIR RELEASE VALVE		ELECTRICAL BOX	
FIRE HYDRANT		TELEPHONE PEDESTAL	
WATER SERVICE		TRANSMISSION TOWER	
WATER VALVE		OVERHEAD ELECTRIC	
TEE		UNDERGROUND ELECTRIC	
TAP		GAS VALVE	
REDUCER		GAS LINE	
BLOWOFF		UNDERGROUND TELEPHONE	
STUBOUT		SIGN	
WATERLINE		MAIL BOX	
FIRE LINE		TREES	
WELL		ROAD CENTERLINE	
TYPE 1 CATCH BASIN		PROPERTY LINE	
TYPE 9 CATCH BASIN		PROPERTY BOUNDARY	
DROP INLET		ROAD FENCE	
STORM DRAIN JUNCTION BOX		CORNER AND GUY	
STORM DRAIN		PERMIT EASEMENT	
MAJOR CONTOUR		TEMPORARY EASEMENT	
MINOR CONTOUR		RIGHT OF WAY	
PROPOSED			
CURB AND GUTTER		PROPOSED STORM SEWER PIPE	
BUILDING CANOPY CONTROL		LIMITS OF CONSTRUCTION	

PARKING SUMMARY

DESCRIPTION	SALES FLOOR AREA (S.F.)	REQUIRED			
		RATIO	REGULAR	ACCESSIBLE	TOTAL
MURPHY OIL	1,343 SF	1/250 SF OF SALES FLOOR	5	1	6
STALL DIMENSIONS		PROVIDED			
9' X 18'		RATIO	SPACES		
		1/250 SF OF SALES FLOOR	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
		1	7	2	9

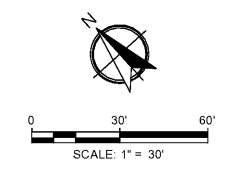
- #### GENERAL SITE NOTES
- PROPERTY IS ZONED GC.
 - SEE SITE PLAN FOR SETBACKS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A SC REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, CANOPY, ETC. AS REQUIRED FOR THE CONSTRUCTION LAYOUT.
 - CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR SIGN.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
ALL CURB AND GUTTER ADJACENT TO PAVING SHALL BE INSTALLED PER DETAIL.
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
 - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL S1.
 - SEE SHEET C-3.1 FOR BUILDING ROOF DRAINAGE, CANOPY ROOF SCUPPERS TO BE PROVIDED FOR CANOPY DRAINAGE, NO DOWNSPOUT COLLECTION SYSTEM IS PROPOSED.

TRAFFIC CONTROL NOTES

- ALL SIGNAGE SHALL BE INSTALLED PER SCDOT STANDARDS AND SPECIFICATIONS. ALL SIGNAGE SHOWN IS A REPRESENTATION OF HOW TRAFFIC SHALL BE ROUTED DURING ROAD CLOSURE.
- "DETOUR" SIGNS SHALL CONFORM TO SCDOT STANDARD DRAWING NO. 605-035-01.
- ALL BARRICADES TO BE TYPE II (8'x8" PANELS) PER SCDOT STANDARD DRAWING NO. 604-005-00.
- FOR LANE CLOSURE WITHIN THE RIGHT-OF-WAY, SEE SCDOT STANDARD DRAWING NOS. 610-005-30, 610-025-00, AND 610-040-00.
- FOR SHOULDER CLOSURE WITHIN THE RIGHT-OF-WAY, SEE SCDOT STANDARD DRAWING NOS. 610-205-00 AND 610-210-00.

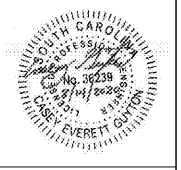
SCDOT NOTES

- ALL MARKINGS WITHIN SCDOT ROW SHALL BE APPROVED PERMANENT PAVEMENT MARKINGS PER SECTIONS 625, 626, OR 627 WITHIN THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ALL APPLICABLE AND CURRENT SCDOT STANDARD DRAWINGS INCLUDED OR REFERENCED WITHIN THESE PLANS AND THE APPROVED PERMIT PACKAGE.
- UPON SUBSTANTIAL COMPLETION, CONTRACTOR TO CLEAR EXISTING CULVERTS/PIPES, CATCH BASINS, AND DITCHES ALONG FRONTAGE AND DOWNSTREAM AS NECESSARY TO ACHIEVE POSITIVE DRAINAGE.
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED SIDEWALK OR CURB AND GUTTER ALONG PROPERTY FRONTAGE AS NECESSARY AND/OR AS SPECIFIED BY DISTRICT PERMIT STAFF.
- SIDEWALK AND CURB AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
- ANY PROPOSED SIDEWALK WITHIN THE ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMP SHALL NOT EXCEED 8.33% FOR EVERY SCENARIO.
- IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAY, ACCESS(ES) TO PROVIDE A MINIMUM 3' PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2% ACROSS THROAT OF DRIVEWAY.
- CONTRACTOR TO SAWCUT EXISTING ASPHALT FOR SMOOTH JOINT NOT ALIGNED WITH WHEEL PATH.
- CONTRACTOR TO PROVIDE PEDESTRIAN RAMP AT EACH ACCESS PER SCDOT STANDARD DRAWING 720-952-11.
- PROPOSED MEDIANS SHALL BE INSTALLED PER SCDOT STANDARD DRAWING 720-105-03.
- ALL PROPOSED OR RELOCATED SIGNAGE SHALL BE PLACED OR REPLACED IN ACCORDANCE WITH SECTION 650-000 AND INSTALLED ON SCDOT APPROVED BREAKAWAY SIGN SUPPORTS AS DETAILED IN SECTION 654-000 IN THE SCDOT STANDARD DRAWINGS.



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Sheet No. **C-1.1**



CG	DRW
CG	DES
GS	PM
MM	PRN
08/05/20	DATE
REV-5	

Overall Site Plan
Murphy Express
4404 Augusta Road
Keck & Wood Project No. 180167



MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

MURPHY USA

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