

GC IS TO FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS AND CONDITIONS PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIAL. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR EXISTING CONDITIONS THAT REQUIRE ADDITIONAL ATTENTION.

NOTES, KEY NOTES, LEGENDS

EXTERIOR ELEVATION KEY NOTES

- 1 NEW ALUMINUM WINDOW
- 2 NEW BRICK WALL SYSTEM METAL STUDS/ SHEATHING/ WEATHER BARRIER/ BRICK - BRICK TO MATCH EXISTING IN SIZE AND LAYOUT - ALL EXTERIOR MASONRY TO BE PAINTED
- 3 GALV FRAME WITH STAINED HARDWOOD SLATS (CEDAR, SAPELE, OR TEAK) SPECIES AND STAIN TBD BY ARCHITECT
- 4 EXISTING BRICK WALL - CLEAN AND PAINT
- 5 NEW METAL COPING, TYPICAL FOR ALL PERIMETER WALLS AND WIND WALLS - COLOR TBD BY ARCHITECT
- 6 NEW ALUMINUM BUILDING MOUNTED SIGNAGE - GC TO COORDINATE SIGNAGE WITH OWNER'S SIGN PROVIDER
- 7 NEW FULL GLASS ALUMINUM ENTRY DOOR FOR CURTAINWALL SYSTEM AS SCHEDULED
- 8 NEW PAINTED BRICK SILL, TYP FOR ALL NEW WINDOWS LOCATED IN EXISTING BRICK WALLS
- 9 NEW PAINTED BRICK HEADER, TYP FOR ALL NEW WINDOWS LOCATED IN EXISTING BRICK WALLS
- 10 EXISTING CURTAINWALL - REGLAZE ALL PANELS AND REPLACE ALL ACCESSORIES AND SEALANT PER MANUFACTURER'S INSTRUCTION
- 11 REPAIR ALL DAMAGED EXTERIOR FINISH AND REPAIR/REPLACE ENTRY ROOF - COLOR AND STYLE TO MATCH EXISTING MOUNTED SIGNAGE
- 12 REPAIR AND PATCH EXISTING ROOF - REPLACE FLASHING AS REQUIRED FOR PROPER INSTALLATION
- 13 NEW ROOF FASCIA AND SOFFIT - PIPING BEHIND NEW SCREEN - SEE WALL SECTIONS AND DETAILS
- 14 CLERESTORY ROOF WITH METAL FASCIA
- 15 ALUMINUM RESISTIVE WINDOW
- 16 METAL PANEL WALL SYSTEM AT CLERESTORY, SEE SECTIONS AND DETAILS
- 17 PAINTED STEEL FRAMING WITH STAINED HARDWOOD SLAT SUNSCREENING - WOOD SPECIES AND FINISH TO MATCH FACADE SCREEN
- 18 CONTINUOUS REVEAL AT TOP OF METAL WALL AND CLERESTORY ROOF - SEE SECTIONS AND DETAILS
- 19 PAINTED CEMENTITIOUS TRIM BOARD OVER METAL STUD WALL SYSTEM INFILL, SEE SECTIONS AND DETAILS
- 20 PAINTED CEMENTITIOUS SILL, TYP AT ALL WINDOWS NOT LOCATED IN BRICK VENEER OR METAL WALL SYSTEMS
- 21 NEW CAULK JOINT AT ALL EXISTING LOCATIONS - SEE DEMO NOTES. SEALANT TO BE PAINTABLE - PAINT TO MATCH EXTERIOR WALL COLOR, TYP
- 22 NEW HOLLOW METAL DOOR IN EXISTING FRAME - PREP AND PAINT EXISTING FRAME AND DOOR
- 23 PAINT EXISTING STEEL ROOF FRAMING, METAL DECK AND COLLINGS - COLOR TBD BY ARCHITECT
- 24 NEW STAINED WOOD SCREEN AT PORCH PERIMETER - SEE PLAN FOR EXTENT
- 25 NEW PAINTED STEEL RAILING - SEE PLANS FOR EXTENT
- 26 NEW ALUMINUM STOREFRONT SYSTEM AND DOOR TO MATCH NEW ALUMINUM WINDOW SYSTEM
- 27 LINE OF EXISTING ROOF SLOPE BEYOND
- 28 NEW PRISM MANUFACTURED METAL CANOPY - COLOR TBD BY ARCHITECT
- 29 NEW METAL GUTTER AND DOWNSPOUTS TO MATCH EXISTING SIZE AND LOCATIONS PREVIOUSLY DEMOLISHED
- 30 NEW FULL GLASS OVERHEAD SECTIONAL DOOR - PROVIDE AS SCHEDULED



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SCALE



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THE OPPORTUNITY CENTER  
8570 RIVERS AVE. N CHARLESTON, SC

SHEET ISSUE

Revision Number	Revision Date	Revision Description
01	01/23/2020	Permit Set

PRINCIPAL IN CHARGE:  
PROJECT ARCHITECT:  
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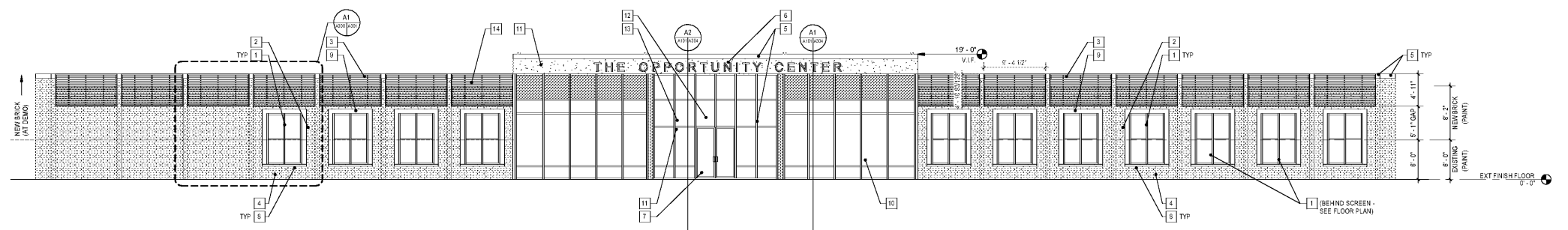
Approver  
Checker  
Author

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

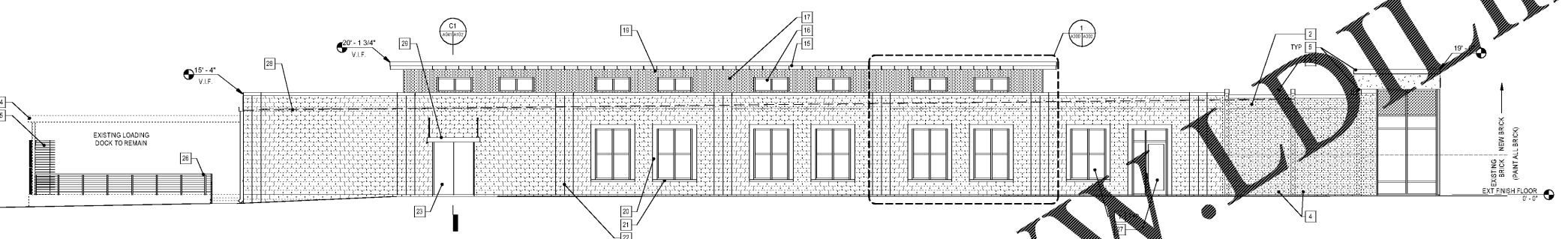
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**A300**



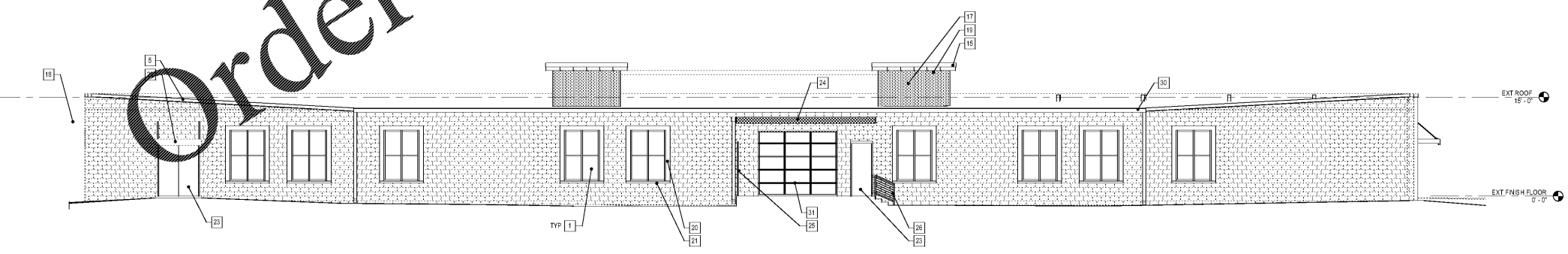
**D1 WEST ELEVATION**  
1/8" = 1'-0"



**C1 NORTH ELEVATION**  
1/8" = 1'-0"



**S1 SOUTH ELEVATION**  
1/8" = 1'-0"



**A1 EAST ELEVATION**  
1/8" = 1'-0"

NOTE: SHADED GLAZING REPRESENTS 45 MIN FIRE RATED WINDOW ASSEMBLIES WITH FIRE RATED CERAMIC GLAZING - TYPICAL FOR ALL WINDOW ASSEMBLIES ON THE SOUTH ELEVATION - SEE LIFE SAFETY PLANS

KEY PLAN

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