

# SITE DEVELOPMENT PLANS FOR PATEL CONVENIENCE STORE

RINCON, GEORGIA

Prepared for  
VIPULKUMAR PATEL

## PROJECT DATA

OWNER/DEVELOPER: VIPULKUMAR PATEL  
174 PALMETTO DRIVE  
RINCON, GEORGIA 31326

24HR CONTACT: JEREMY R HART (912) 764-7022  
LEVEL 2 CERTIFICATION# 0000072679

TAX MAP & PARCEL: 6.58 (TOTAL PARCEL AC)

ZONING CLASSIFICATION: GC

AREA OF PROJECT: 2.16 AC

IMPERVIOUS AREA: 0.95 AC

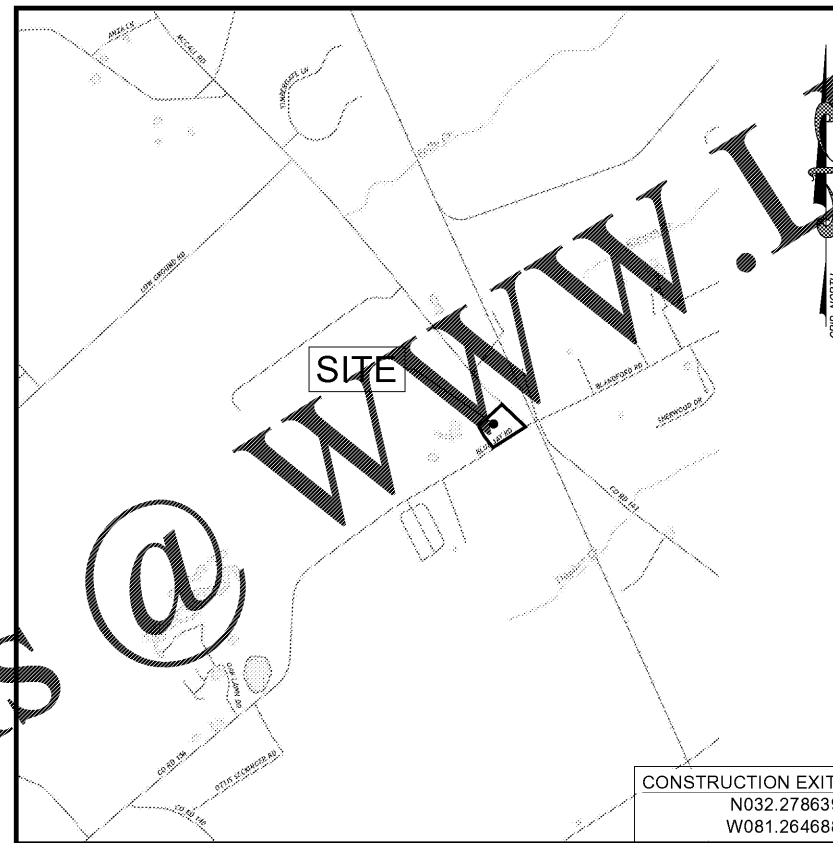
DISTURBED AREA: 2.68 AC

PROPOSED USE: CONVENIENCE STORE

TOTAL BUILDING AREA: 4,500 SF

PARKING SPACES REQUIRED: 18

PARKING SPACES PROVIDED: 21



VICINITY MAP  
NOT TO SCALE

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EMC ENGINEERING SERVICES, INC.  
ENVIRONMENTAL- MARINE - CIVIL - SURVEY

PROJECT LOCATION:  
BLUE JAY & McCALL ROAD  
RINCON, GEORGIA  
EMC PROJECT# 20-0025  
APRIL 2020

### UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC. EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

REVISION	DESCRIPTION



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