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ROOM SCHEDULE		
NAME	NUMBER	AREA
LEVEL 01		
CORR.	101	99 SF
WOMEN	102	136 SF
MEN	103	120 SF
SEATING AREA	104	1092 SF
OUTDOOR COVERED SEATING	105	1112 SF
WAITING AREA	106	185 SF
GRAND STAIRCASE	107	263 SF
ENTRY VESTIBULE	108	249 SF
ELEV.	109	56 SF
STAIR 02	110	155 SF
BEV. SVC	111	93 SF
KITCHEN	112	647 SF
STAIR 01	113	157 SF
CORRIDOR	114	77 SF
DRY STORAGE	115	58 SF
KEG COOLER	116	44 SF
COOLER	117	112 SF
FREEZER	118	52 SF
MECHANICAL	119	56 SF
OUTDOOR TRELLIS SEATING AREA	147	485 SF
LEVEL 02		
CORR.	201	80 SF
WOMEN	202	136 SF
MEN	203	120 SF
SEATING AREA	204	1062 SF
OUTDOOR COVERED SEATING AREA	205	1062 SF
WAITING AREA	206	190 SF
GRAND STAIRCASE	207	263 SF
COOLER	208	106 SF
ITALV ROOM	210	44 SF
STORAGE	212	261 SF
BAR / KITCHEN	213	502 SF
STORAGE / FUTURE WARE WASH	214	128 SF
CORRIDOR	215	165 SF
BOH OFFICE	216	75 SF
KITCHEN	218	195 SF
DECK LEVEL		
ROOF DECK / MECHANICAL LEVEL	302	2039 SF
EGRESS VESTIBULE		
EGRESS VESTIBULE	304	92 SF
MECHANICAL ROOM	305	362 SF
AV & ELECT. ROOM	306	138 SF
ELEVATOR CONTROL EQUIPMENT	307	21 SF
Grand total		12293 SF

SEAT COUNT	
LEVEL 01	
BAR	5
OPEN AIR OUTDOOR SEATING	66
SEATS	46
TOTAL	117
LEVEL 02	
BAR	11
OPEN AIR OUTDOOR SEATING	44
SEATS	48
TOTAL	103
TOTAL SEATS	220

(I) Project Narrative:

Marriott Sawgrass Cabana Club is located on the southeast side of Florida in St. Johns County. It is composed of 2 parcels with parcel one comprising approximately 2 acres and parcel 2 comprising 1.43 acres respectively. The property consists of one main 2 story wood framed building, 5 single story shed buildings, 1 single story trailer, 3 single story open structures and 1 single story pool auxiliary building. The current use of the project is a beach side recreational and dining facility for the Sawgrass Marriott Golf Resort & Spa. The property is governed by the Ponte Vedra Zoning District Regulations for zoning and development (<http://www.co.st-johns.fl.us/LongRangePlanning/media/PVDevReg.pdf>) and the 2017 Florida Building Code for building construction.

(II) Zoning & Land Use Requirements:

Land Development Code 1003.02 F (Destruction of a Nonconforming Use): Buildings damaged by natural disaster, accidental fire or other disastrous force may be reconstructed or repaired to the footprint existing immediately prior to damage providing for the pre-disaster density, intensity and height, provided that such repair or reconstruction be commenced within twenty-four (24) months of the date of such damage in conformity with current health and safety requirements established in the Land Development Code and the Building Code.

Legal Description:

Parcel 1: Lot 6 & 11, Section 27; together as part of Parcel 1
 Parcel 2: Section 43, Township 3 South, Range 29 East, St. Johns County Florida
 FEMA Flood Zone: Zone X @ NW portion of parking lot & Zone VE (Elevation +13'-0") for remainder of site (See attached)
 Lot Area: Parcel 1 = Approx. 2 Acres & Parcel 2 = 62,312 SF (1.43 acres) = 149,422 SF (3.43 acres)
 Lot Width: 300'-0"

Zoning District: R-2 Multi-Family Residential in Ponte Vedra Overlay District
<http://panon.sicfl.us/gis/media/MapMart/Zoning/Zoning-quarter-2019.pdf>

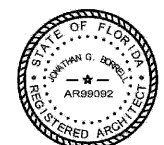
Permitted Uses (Sec. IV A1): Single Family Residential, Multi-Family / Duplex Residential, Hotel/Motels, Parks and Playgrounds, Golf Courses, Public, Private and Parochial Schools, Public Buildings, Churches and Church Educational Buildings, Accessories Buildings used by the going attached buildings, Non-commercial boat docks.

Zoning Requirements (Section VIII B):

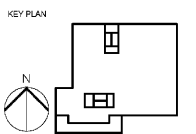
- Maximum Height: **45'-0" (Waiver #1 Approved)**
 Previous: (1 story where building is located less than 50 feet from a residential zone.)
- Minimum Lot Size: None
- Minimum Lot Width: None
- Max. Impervious Surface: 65%
- Min. Open Space: 35%
- Max. Gross Floor Area: 10,000 sf per acre = 20,000 sf
- Max. Length of Building: 120'-0"
- Minimum Front Yard: 30'-0" (1 story building) & 50'-0" for 2 story building
- Minimum Side Yard: **20'-0" (Waiver #2 Approved)**
 Previous: 30'-0" (1 story building) & 50'-0" for 2 story building
- Minimum Rear Yard: 10'-0"
- Min. Building Separation: 20'-0"
- Min. FFL: (18" above crown of road) 16.36'
- Accessory Use & Structures: Min. 10'-0" setback from side & back and Max. 7'-0" in height.
- Buffer Requirements:
 - 20'-0" min setback from ROW
 - 0'-0" min for side yard (Waiver #3 Approved)**
 Previous: 10'-0" min from side property boundaries starting not more than 50'-0" from ROW
 - 10'-0" min from rear property boundaries
 - Where a 1 story building is within 60'-0" of residential property or where a 2-story building is within 100'-0" of residential property and 8'-0" high masonry wall will be required between the residential zoned property and building, or a 100% opacity landscape buffer provided and maintained.

Project Compliance

Zoning Requirements:	Required	Provided
Maximum Height:	45'-0"	45'-0"
Development Area:	N/A	21,057 SF (0.48 acres)
Max. Impervious Surface:	13,687 sf (65%)	11,578 sf (54%)
Min. Open Space:	5,265 sf (25%)	15,129 sf (72%)
Max. Gross Floor Area:	20,000 sf (2 ac)	15,885 sf (3,632 (Exist) + 12,253 (New))
Max. Length of Building:	120'-0"	95'-10"
Minimum Front Yard:	50'-0"	51'-7"
Minimum Side Yard:	20'-0"	20'-0"
Minimum Rear Yard:	10'-0"	Approx. 186'-6"
Min. Building Separation:	20'-0"	35'-0" (North)
Min. FFL (FEMA Req.):	17.17'	17.17'



JONATHAN G. SORRELL, STATE OF FLORIDA REGISTERED ARCHITECT LICENSE NO. AR98062 THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JONATHAN G. SORRELL, ON 05/22/2020 10:51:13 AM. EXEMPT FROM NOTARIZATION. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22808.001
 DATE
05/22/2020
 ISSUE
PERMIT SET

SHEET TITLE
ZONING & AREA CALCULATIONS

SHEET NO.
A0.04