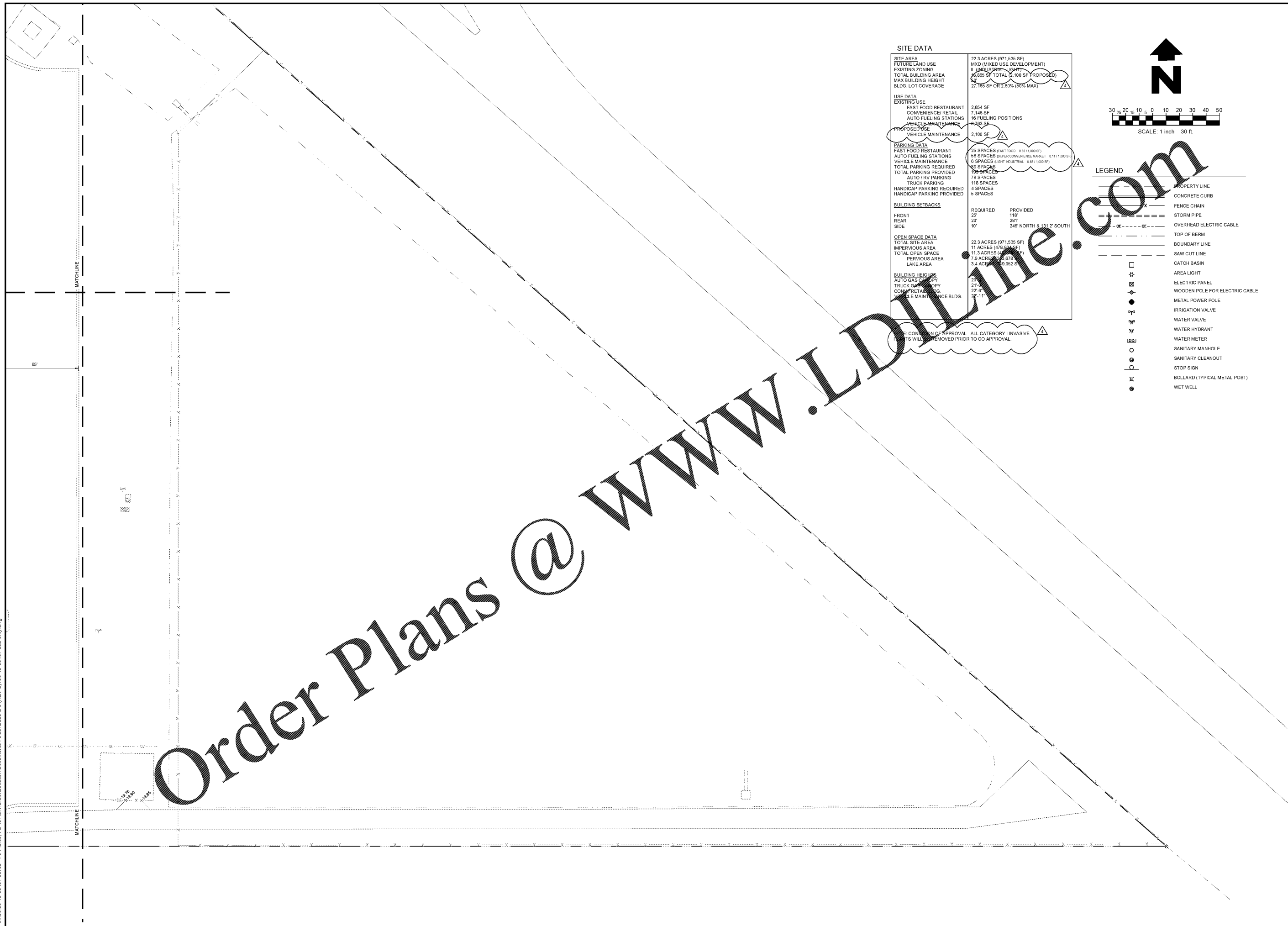
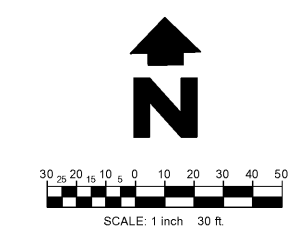


Apr20,2020-8:39am - User:emma.bernson  
 M:\0303-19-50467-Loves - FT. Pierce, FL 467\CIVIL\Construction Documents\Folder2020-2-5 (REV-2)\03-19-50467 Site only.dwg



**SITE DATA**

<b>SITE AREA</b>	22.3 ACRES (971,536 SF)
<b>FUTURE LAND USE</b>	MXD (MIXED USE DEVELOPMENT)
<b>EXISTING ZONING</b>	IL (INDUSTRIAL LIGHT)
<b>TOTAL BUILDING AREA</b>	16,806 SF TOTAL (12,100 SF PROPOSED)
<b>MAX BUILDING HEIGHT</b>	27.185 SF OR 2.80% (50% MAX)
<b>BLDG. LOT COVERAGE</b>	
<b>USE DATA</b>	
<b>EXISTING USE</b>	
FAST FOOD RESTAURANT	2,854 SF
CONVENIENCE/RETAIL	7,148 SF
AUTO FUELING STATIONS	16 FUELING POSITIONS
VEHICLE MAINTENANCE	8,753 SF
<b>PROPOSED USE</b>	
VEHICLE MAINTENANCE	2,100 SF
<b>PARKING DATA</b>	
FAST FOOD RESTAURANT	25 SPACES (FAST FOOD: 0.88 / 1,000 SF)
AUTO FUELING STATIONS	58 SPACES (SUPER CONVENIENCE MARKET: 0.11 / 1,000 SF)
VEHICLE MAINTENANCE	8 SPACES (LIGHT INDUSTRIAL: 0.88 / 1,000 SF)
<b>TOTAL PARKING REQUIRED</b>	90 SPACES
<b>TOTAL PARKING PROVIDED</b>	175 SPACES
AUTO / RV PARKING	78 SPACES
TRUCK PARKING	118 SPACES
HANDICAP PARKING REQUIRED	4 SPACES
HANDICAP PARKING PROVIDED	5 SPACES
<b>BUILDING SETBACKS</b>	
	REQUIRED PROVIDED
FRONT	25' 118'
REAR	20' 281'
SIDE	10' 248' NORTH & 131.2' SOUTH
<b>OPEN SPACE DATA</b>	
<b>TOTAL SITE AREA</b>	22.3 ACRES (971,536 SF)
<b>IMPERVIOUS AREA</b>	11 ACRES (478,000 SF)
<b>TOTAL OPEN SPACE</b>	11.3 ACRES (452,536 SF)
<b>PERVIOUS AREA</b>	7.9 ACRES (315,573 SF)
<b>LAKE AREA</b>	3.4 ACRES (14,052 SF)
<b>BUILDING HEIGHTS</b>	
AUTO GAS CANOPY	20'
TRUCK GAS CANOPY	21'-0"
CONV. RETAIL BLDG.	22'-0"
VEHICLE MAINTENANCE BLDG.	26'-11"



**LEGEND**

---	PROPERTY LINE
---	CONCRETE CURB
---	STORM PIPE
---	OVERHEAD ELECTRIC CABLE
---	TOP OF BERM
---	BOUNDARY LINE
---	SAW CUT LINE
---	CATCH BASIN
---	AREA LIGHT
---	ELECTRIC PANEL
---	WOODEN POLE FOR ELECTRIC CABLE
---	METAL POWER POLE
---	IRRIGATION VALVE
---	WATER VALVE
---	WATER HYDRANT
---	WATER METER
---	SANITARY MANHOLE
---	SANITARY CLEANOUT
---	STOP SIGN
---	BOLLARD (TYPICAL METAL POST)
---	WET WELL

AT THE TIME OF APPROVAL - ALL CATEGORY I INVASIVE PLANTS WILL BE REMOVED PRIOR TO CO APPROVAL.

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200 S KING'S HWY  
 FORT PIERCE, FL 34945  
**SPEEDCO REMODEL**  
 PROJECT NUMBER: 03-19-50467

**Loves**  
**Travel Stop & Country Stores**

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**ISSUE BLOCK**

	OTP	08-13-2019
3	ADD-3	11-22-2019
4	ADD-4	4-22-2020

STORE NO. 467  
 DOCUMENT DATE: 8/13/19  
 CHECKED BY: WFM  
 DRAWN BY: ENH  
 PROTO CYCLE:

**SITE PLAN SOUTHEAST**

SHEET: **YCV1.3**