

**ROOF GENERAL NOTES:**

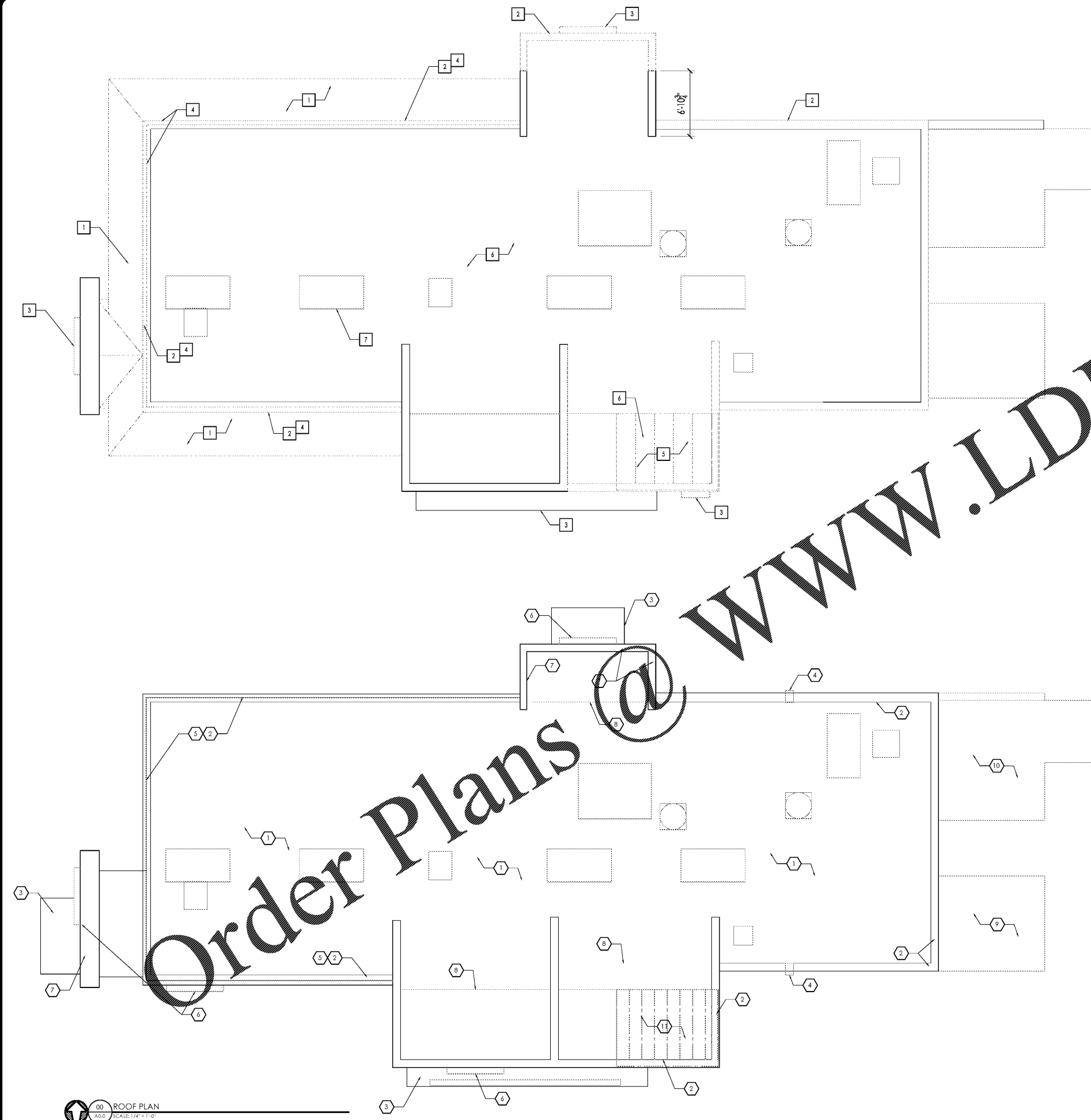
1. REMOVE EXISTING MEMBRANE ROOFING TO EXPOSE INSULATION AND / OR SHEATHING. REPLACE AND REPAIR INSULATION AND SHEATHING AS REQ'D. AND INSTALL NEW DUROLAST, WHITE PVC MEMBRANE ROOFING, (40 MIL W/ 15 YR. NDL WARRANTY).
2. ROOF SHALL BE INSTALLED ONLY BY MANUFACTURER APPROVED INSTALLER IN ORDER TO MEET GUARANTEE REQUIREMENTS.
3. ROOFING TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUF. RECOMMENDED ROOF DETAILS, SPECIFICATIONS AND REQUIREMENTS.
4. PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
5. ROOFING SUBCONTRACTOR TO COORD. ALL TRADES OF ROOF TOP ACCESSORIES FOR PLACEMENT OF TAPERED RIGID INSULATION LAY-OUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAY-OUT.
6. REPAIR/ REPLACE GREASE CATCHERS @ ALL EXIST. GREASE HOOD EXHAUST FANS.

**ROOF DEMO. KEYNOTES:**

1. REMOVE EXIST. MANSARD METAL ROOFING AND FINISHING.
2. REMOVE PORTION OF COPING AND WALL. REMOVE EXIST. WD. COPING. REPLACE/REPAIR EXIST. VAPOR BARRIER AND SHEATHING AS REQ'D FOR NEW FINISHES.
3. REMOVE EXIST. SIGNAGE TO BE RETURNED TO OWNER, G.C. TO USE CARE IN REMOVAL TO PREVENT DAMAGE.
4. REMOVE EXIST. CONTINUOUS DECORATIVE RED PARAPET LIGHT BAND - LIGHT BAND TO BE RETURNED TO OWNER; G.C. TO USE CARE IN REMOVAL TO PREVENT DAMAGE TO LIGHTING & SIGNAGE.
5. REMOVE DAMAGED PORTION OF EXISTING TRUSS AND FRAMING IN ACCORDANCE WITH DEMOLITION PLAN SHEET A.1.1.
6. REMOVE EXISTING ROOF MEMBRANE - REPAIR EXISTING CURB AS REQ'D.
7. RETAIN ALL EXIST. EQUIPMENT TO REMAIN.

**ROOF PLAN KEY NOTES:**

1. PROVIDE NEW DUROLAST PVC MEMBRANE ROOF. EXISTING ROOFTOP EQUIPMENT TO REMAIN. VERIFY W/ OWNER ALL EQUIPMENT TO BE REPLACED / REPAIRED. CLEAN ALL HOOD EXHAUSTS; RE-INSTALL ALL HVAC CONDENSATE DRAINS & EXTEND TO ROOF DRAIN LOCATION.
2. NEW CONTINUOUS PREFINISHED METAL COPING. @ ALL PARAPETS.
3. PREFINISHED METAL CANOPY BY SIGN VENDOR; G.C. TO COORD. POWER & BLOCKING REQUIRED - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING.
4. REPAIR / REPLACE EXISTING ROOF DRAIN(S) & OVERFLOW(S) AS REQ'D. CLEAN DRAINS, REINSTALL COVERS / CAGES AND ENSURE FREE FLOWING DRAINAGE.
5. LIGHT BAND BY SIGN VENDOR & INSTALLED BY OWNER; G.C. TO COORDINATE POWER & BLOCKING AS REQ'D. - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING
6. SIGN BY SIGN VENDOR & INSTALLED BY OWNER; G.C. TO COORDINATE POWER & BLOCKING AS REQ'D. - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING
7. NEW METAL COPING TO ACCOUNT FOR NEW CEMENT BOARD WALL-PANEL SYSTEM BELOW.
8. NEW TRANSITIONAL ROOF AREAS AT NEW AND EXTENDED PARAPET WALLS - SEE SECTIONS - ROOF TO ALIGN WITH BACK OF EXIST. PARAPET AND TO BE (MIN.) 1/8" 1'-0" SLOPE TOWARDS EXIST. ROOF.
9. EXIST. LOWER ROOF BELOW. REPLACE WITH NEW MEMBRANE AS NOTED ABOVE.
10. EXIST. COOLER ROOF REPLACE MEMBRANE WITH NEW AS NOTED ABOVE.
11. NEW ROOF JOIST (2X10) @16 O.C. TO ATTACH TO NEW FIELD MODIFIED TRUSS THAT BEARS ON NEW LOW BEARING WALL. TO BE IN COMPLIANCE WITH SOUTHERN PINE STD OR APPROVED EQUAL. PROVIDE 3/4" CDX PLYWOOD DECKING & NEW RIGID INSULATION & ROOFING -SEE WALL SECTION.



00 ROOF PLAN  
SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION
	06-22-20	



**PREMIER KINGS, INC.**  
5529 CARMICHAEL RD  
MONTGOMERY, AL 36117  
PHONE: (334) 312-0849

2124 Mont Avenue Birmingham, AL  
Phone (205) 921-1751  
Fax (205) 921-1778  
email info@huckestein.com  
www.huckestein.com

**henderson huckestein architects, pc**  
architecture • planning • interior design



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**BURGER KING - RENOVATION**  
3092 Ross Clark Cir. S.W.  
Dothan, Alabama 36301

ROOF PLAN