

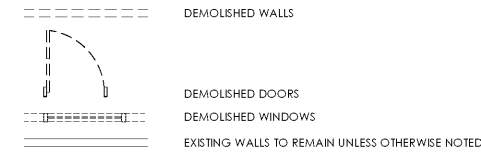
DEMOLITION GENERAL NOTES:

- SEE TI.1 FOR FURTHER GENERAL DEMOLITION NOTES.

SHORING AND BRACING NOTES:

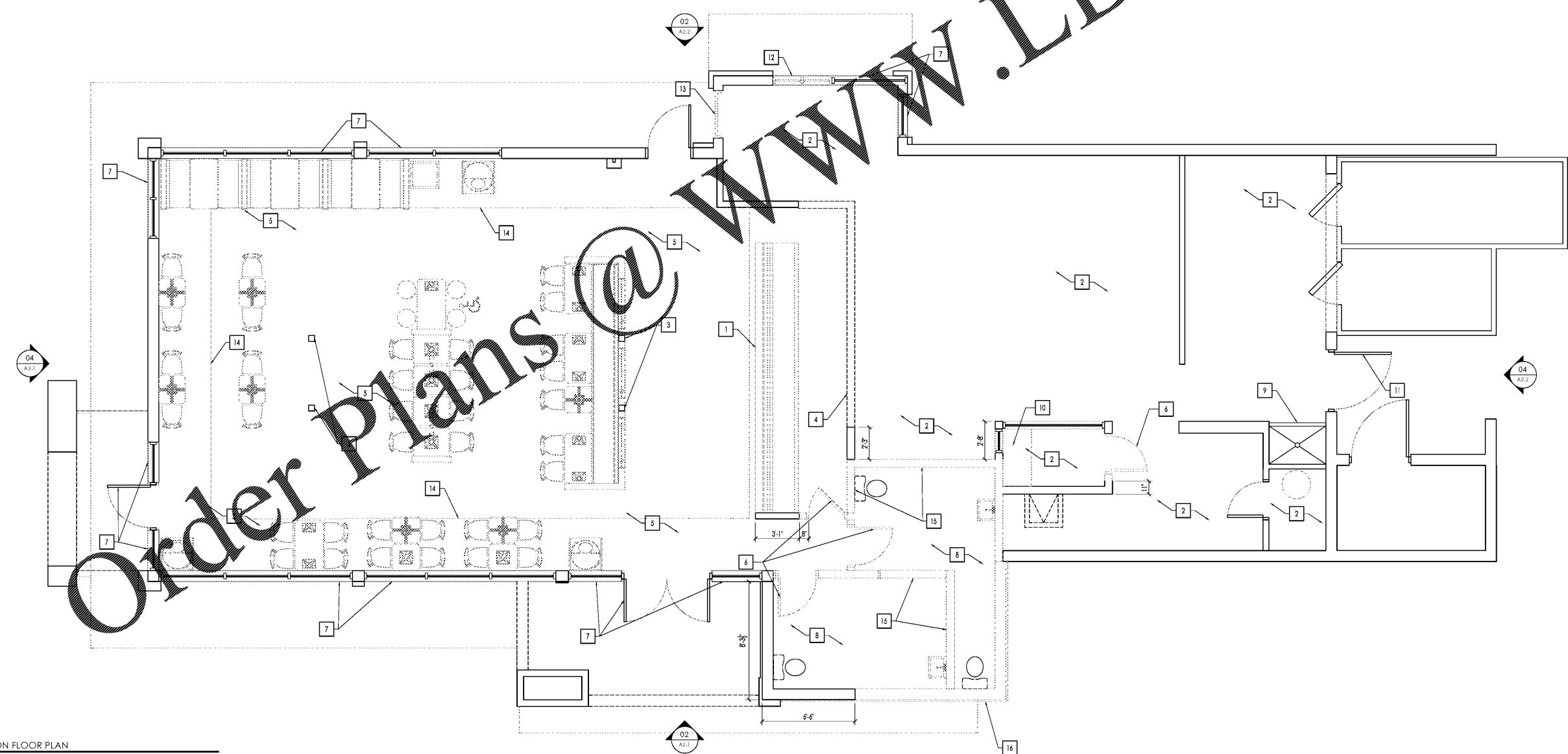
- BEFORE STARTING ANY SHORING, INVESTIGATE THOROUGHLY TO DETERMINE EXTENT AND TYPE OF SHORING NECESSARY TO SUPPORT EXISTING STRUCTURE(S).
- SET ANY NEEDLES, CRIBBING, BRACING SHORING AS NEEDED TO CARRY EXISTING LOADS WITHOUT DEFLECTION OR SETTLEMENT OF EXISTING STRUCTURE.
- IF IS REQ'D. BEFORE ANY SHORING WORK IS DONE, THE CONTRACTOR SETS GAUGE MARKS FOR THE PURPOSE OF DEFLECTION OF SETTLEMENT AND/OR MOVEMENT DURING OPERATIONS. NEW WORK MUST CARRY EXISTING STRUCTURE WITHOUT SETTLEMENT.

DEMOLITION LEGEND:



DEMOLITION KEYNOTES:

- REMOVE EXISTING SERVING COUNTER; MODIFY EXISTING LOW WALL BELOW. RELOCATE EXISTING CIRCUITS AS REQ'D. REMOVE EXISTING FRONT FINISHES FROM WALL & PREPARE FOR NEW FINISH INSTALLATION. PATCH AND REPAIR ALL SURFACES TO REMAIN FOR "LIKE NEW" FINISH.
- EXISTING FLOORING (TILE & BASE) THROUGHOUT TO REMAIN. CLEAN ALL EXISTING TILE AND GROUT TO BRING TO "LIKE NEW" KITCHEN CONDITION. REPAIR ALL LOOSE / DAMAGED TILES AND BASE & RE-GROUT AS REQ'D. FIELD VERIFY EXISTING CONDITIONS. KITCHEN TILE AREAS ARE TO BE CHEMICALLY DEGREASED AND / OR "STEAM CLEANED" AS NECESSARY PRIOR TO TILE REPLACEMENT AND RE-GROUTING TO ENSURE PROPER BOND. COORD. W/ OWNER PRIOR TO COMMENCING AND CONFIRM METHOD MEETS ANY FOOD SAFETY REQUIREMENTS.
- COLUMNS TO REMAIN. COLUMN FINISHES TO BE COORDINATED WITH INTERIOR DECOR.
- REMOVE SURFACE MATERIAL AT SOFFIT. REPLACE CEMENT BOARD AND INSTALL TILE FINISH.
- REMOVE ALL EXISTING FURNITURE, QUEUING RAIL & PILEABLE SUPPORT POSTS AND TRASH ENCLOSURES. REMOVE AND REPLACE ALL FLOOR FINISHES REQ'D. FOR "LIKE NEW" FINISH.
- REMOVE EXISTING DOOR, FRAME & HARDWARE - PREPARE TO REPLACE.
- CLEAN AND REPAIR EXIST. ALUM. STOREFRONT - PROVIDE SEALANT AT ANY HOLES (INT. & EXT.), REPLACE ANY GLAZING WITH GLEAM SEALS, AND PROVIDE NEW RUBBER SEALS WHERE REQ'D - TYPE ALL STOREFRONT WINDOWS & DOORS TO REMAIN.
- REMOVE ALL EXISTING INTERIOR CEILING LIGHTING, TOILET PARTITIONS, FLOOR TILE / BASE, & WALL FINISHES AT RESTROOM AREAS AND PREPARE FOR NEW RESTROOM RECONSTRUCTION.
- CLEAN / REPAIR EXISTING BUILT IN CONCRETE MOP SINK / CAN WASH.
- REMOVE EXIST. COUNTER, CUPBOARD AND SHELVING AND PREPARE TO REPLACE WITH NEW COORD. W/ OWNER AND DATA / POS VENDOR PRIOR TO REMOVAL.
- REPAIR EXIST. SERVICE DOOR FOR NEW PAINT AND REMOVE ANY DAMAGED HARDWARE TO BE REPLACED.
- REMOVE EXIST. DT WINDOW -PREP OPENING FOR NEW WINDOW.
- REMOVE EXIST. HM DOOR. PREPARE OPENING FOR NEW WALL INFILL W/ MTL STUD AND NEW ALUM. STOREFRONT WINDOW. -SEE A8.1 DOOR SCHEDULE
- REMOVE EXISTING GYP. BD SOFFIT & ALL ACT CEILING THROUGHOUT BUILDING
- REMOVE EXISTING INTERIOR PARTITION AS NOTED & REQ'D PROVIDE TEMPARY SHORING @ ALL LOAD-BEARING WALLS & ALLOW NEW FRAMING & ROOF TRUSS MODIFICATIONS.
- REMOVE FIRE-DAMAGED PARTITIONS OF EXTERIOR WALL FRAMING; PROVIDE TEMPORARY SHORING AS REQ'D.



DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION



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PROJECT # 2020-09
IMAGE 2020 - DECEMBER 2014 STANDARDS
Burger King - RENOVATION
3092 Ross Clark Cir. S.W.
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