

GENERAL NOTES

- WHERE A DETAIL IS SHOWN OR NOTE IS DESCRIBED FOR ONE CONDITION IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LOCATIONS AFFECTING THIS PROJECT PRIOR TO FABRICATION OR INSTALLATION OF NEW WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM DIMENSIONS SHOWN, NOTED OR REQUIRED. ADJUST DIMENSIONS OF NEW CONSTRUCTION AT DIRECTION OF ARCHITECT TO ALLOW FOR ACTUAL FIELD DIMENSIONS.
- PROVIDE OPENINGS WITH LINTELS OR HEADERS IN WALLS/PARTITIONS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK.
- PROVIDE WOOD BLOCKING AS REQUIRED IN WALLS FOR ALL WALL MOUNTED CASEWORK, SHELVES, EQUIPMENT, ACCESSORIES, AND AS INDICATED FOR INSTALLATION OF EQUIPMENT BY OTHERS.
- WOOD BLOCKING AND/OR NAILERS ARE GENERALLY SHOWN IN A GENERIC FASHION - CONTRACTOR MUST COORDINATE EXACT BLOCKING REQUIREMENTS WITH COMPONENT MANUFACTURERS SUGGESTIONS OR STANDARDS, AND WITH OTHER TRADES.

SYMBOLS

1 View Name SCALE: 1/8" = 1'-0"	TITLE SYMBOL
	SECTION SYMBOL SECTION #X SHEET #AX.X
	DETAIL SYMBOL DETAIL #X SHEET #AX.X
	ENLARGED DETAIL SYMBOL DETAIL #X SHEET #AX.X
	INTERIOR ELEVATION SYMBOL ELEVATION #XX SHEET #AX.X
	EXTERIOR ELEVATION SYMBOL ELEVATION #XX SHEET #AX.X
	INTERIOR ROOM SYMBOL ROOM #XXX
	DOOR SYMBOL DOOR #XXX
	STOREFRONT SYMBOL SEE STOREFRONT SCHEDULE
	WALL TYPES SYMBOL SEE WALL/PARTITION LEGEND
	FINISH ELEVATION SYMBOL ELEVATION NUMBER
	REVISION SYMBOL

CONTACT LIST

ARCHITECT:
ARTECH DESIGN GROUP
1410 COWART STREET CHATTANOOGA, TN 37408
CONTACT: Valerie Melcher P.(423) 643-0606
EMAIL: valeriem@artech.pro

ENGINEERS:
Elder Engineering
13 West Kent Street Chattanooga Tennessee 37405
CONTACT: Garrison Elder P.(423) 309-1377
EMAIL: garrison@ELDER-ENGINEER.COM

OWNER:
Rock Point Bank
401 Chestnut Street Chattanooga Tennessee 37408
CONTACT: Jeff Billington P.(423) 785-6061
EMAIL: jeff.billington@aligores.com

WALL LEGEND

WALL/PARTITION NOTES:

- REFER TO WALL SECTIONS FOR CONSTRUCTION OF EXTERIOR WALLS. SPECIAL CONDITIONS AND SPECIAL PARTITIONS ARE INDICATED ON PLANS AND DETAILS.
- WALLS SHOWN WITH MORE THAN ONE INDICATOR SHALL CONTAIN ALL COMPONENTS OF THE WALL TYPES INDICATED.
- ALL INTERIOR STUD SPACING TO BE 24" O.C. UNLESS NOTED OTHERWISE.
- ALL INTERIOR METAL STUD WALLS TO BE 20 GAUGE UNLESS NOTED OTHERWISE.
- WHERE STUDS EXTEND TO ROOF DECK, PROVIDE A SLIP JOINT TRACK (SUPERIOR METAL TRIM, SFT TYPE 53 OR EQUAL).
- PROVIDE SOLID WOOD BLOCKING IN WALLS AT ALL TOILET ACCESSORY, DOOR STOP AND TOILET PARTITION LOCATIONS, AS REQUIRED.

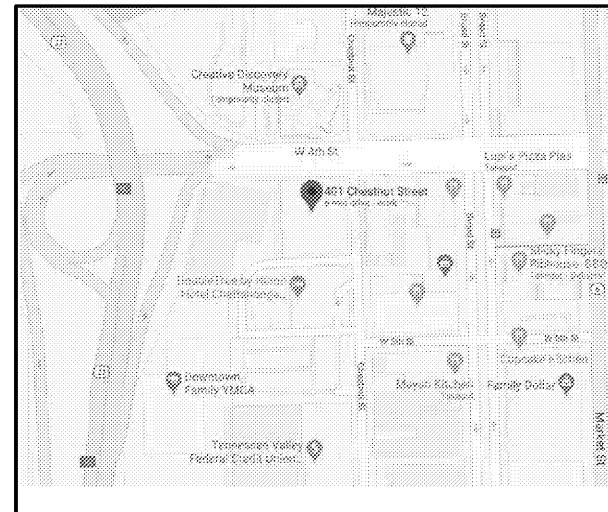
PARTITION LEGEND:

	3 5/8" METAL STUDS 24" O.C. W/ ONE LAYER 5/8" GYPSUM WALL BOARD EACH SIDE EXTEND GYPSUM 6" ABOVE CEILING
	3/4" LOW-IRON CLEAR TEMPERED GLASS, BUTT GLAZED WITH TOP AND BOTTOM TRACK, DECORATIVE FILM (TO BE DETERMINED).
	EXISTING WALL: 3 5/8" METAL STUDS 16" OC W/ ONE LAYER 5/8" GYPSUM WALL BOARD EACH SIDE ADDED TO WALL: 7/8" METAL HAT CHANNELS 16" O.C. WITH ONE LAYER 5/8" GYPSUM WALLBOARD

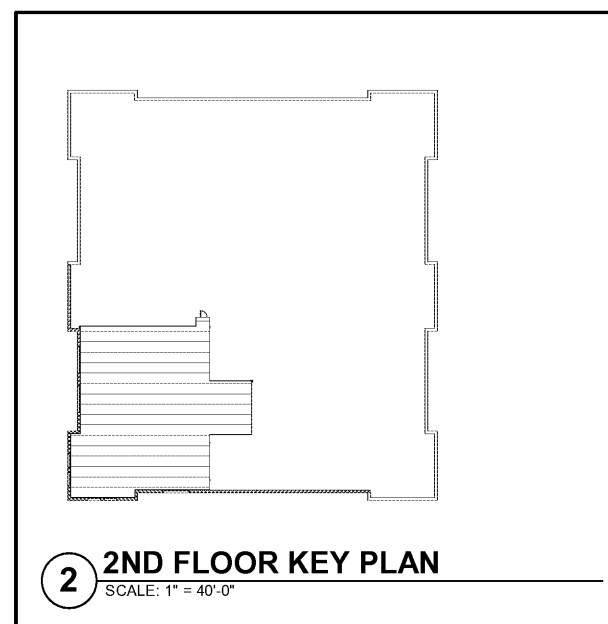
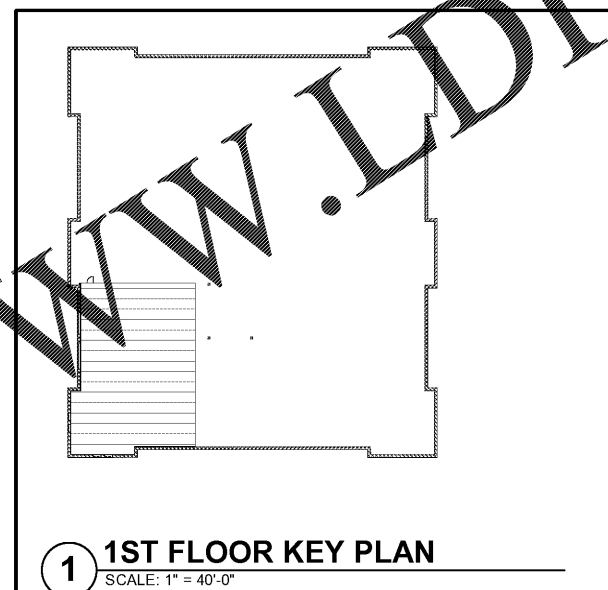
INTERIOR CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE PROCEEDING - NOTIFY ARCHITECT IF DISCREPANCIES ARE ENCOUNTERED.
- IF DISCREPANCIES ARE FOUND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, CONTACT ARCHITECT TO RESOLVE PRIOR TO PERFORMING THAT WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD U.N.O., FACE OF NEW DRYWALL TO ALIGN WITH EXISTING FACES WHERE APPLICABLE.
- CONTRACTOR TO PROVIDE UL RATED PENETRATIONS/FIRESTOPPING FOR ALL PENETRATIONS THROUGH RATED PARTITIONS (I.E. ELECTRICAL, MECHANICAL, PLUMBING, ETC.)
- WHERE EXISTING WALLS ARE SCHEDULED TO RECEIVE NEW FINISHES REMOVE EXISTING FINISH. PATCH WALL AS NECESSARY AND PREPARE FOR NEW FINISH AS SCHEDULED.
- WHERE EXISTING FLOORS ARE SCHEDULED TO RECEIVE NEW FINISHES REMOVE EXISTING FINISH AND ADHESIVE. PATCH FLOOR AND PREPARE FOR NEW FINISH AS SCHEDULED.
- EXTEND NEW WALLS TO FLOOR/ROOF DECK ABOVE AT TENANT SEPARATION WALLS. ALL OTHERS EXTEND 6" ABOVE CEILING.
- REFER TO SHEET T1.2 FOR WALL TYPES, SYMBOLS AND MATERIALS
- ADD ACOUSTICAL INSULATION ABOVE CEILING 2FT WIDE ALONG ENTIRE PERIMETER OF ROOM (AT ALL EXAM ROOMS, OFFICES AND TOILETS).
- INSTALL ALL FINISHES PER MFG. RECOMMENDATIONS

VICINITY MAP



KEY PLAN



CODE SUMMARY

PROJECT INFORMATION	NAME OF PROJECT: Rock Point Bank
ADDRESS: 401 Chestnut Street	PROPOSED USE: Business
OWNER/CONTACT PERSON: Jeff Billington	PHONE: (000) 000-0000
CODE ENFORCEMENT JURISDICTION: Chattanooga	

APPLICABLE CODES

ARCHITECTURAL:	IBC 2012
ELECTRICAL:	NEC 2017
PLUMBING:	IPC 2012
MECHANICAL:	IMC 2012
LIFE SAFETY:	IBC 2012
GAS:	N/A
ENERGY:	IECC 2009
ACCESSIBILITY:	ANSI A117.7.2009

DESIGNER OF RECORD

DESIGNER	NAME	LICENSE #	TELEPHONE #
CIVIL:	N/A		
ARCHITECTURAL:	DAVID HUDSON	17137	(423) 265-4313
STRUCTURAL:	N/A		
MECHANICAL:	GARRISON ELDER	116366	(423) 309-1377
PLUMBING:	GARRISON ELDER	116366	(423) 309-1377
ELECTRICAL:	CLAY	102648	(423) 698-0874

BUILDING DATA

OCCUPANCY TYPE:	EXISTING	SEPARATION:	N/A
MIXED OCCUPANCY:	EXISTING	MIXED CONSTRUCTION:	NO
CONSTRUCTION TYPE:	EXISTING	(EX: NFPA-13, NFPA-13R, NFPA13-D)	
SPRINKLED:	YES		
FIRE DISTRICT:	YES		
BUILDING HEIGHT:	N/A	NUMBER OF STORIES:	N/A
MEZZANINE:	NO		
HIGH RISE:	NO		
GROSS BUILDING AREA:	N/A		
TOTAL GROSS AREA:	FIRST FLOOR: 4086 SQUARE FEET	SECOND FLOOR: 4953 SQUARE FEET	PERIMETER: 4708 SQUARE FEET WITHOUT INTERIOR PARTITIONS
AREA INCREASE:	NO		

FIRE RESISTANCE RATINGS

PARTY/FIRE WALLS:	REQUIRED HOURLY	DETAIL # & SHEET #	% WALL OPENING	DESIGN # FOR RATED ASSEMBLIES
EXTERIOR BEARING WALLS:	NA	NA	NA	NA
NORTH	NA	NA	NA	NA
EAST	NA	NA	NA	NA
WEST	NA	NA	NA	NA
SOUTH	NA	NA	NA	NA
EXTERIOR NON-BEARING WALLS:	NA	NA	NA	NA
NORTH	NA	NA	NA	NA
EAST	NA	NA	NA	NA
WEST	NA	NA	NA	NA
SOUTH	NA	NA	NA	NA

INTERIOR WALLS:

BEARING	REQUIRED HOURLY	DETAIL # & SHEET #	% WALL OPENING	DESIGN # FOR RATED ASSEMBLIES
BEARING	NA	NA	NA	NA
NON-BEARING	NA	NA	NA	NA
CEILING-FLOORS ASSEMBLY:	NA	NA	NA	NA
BEAMS:	NA	NA	NA	NA
COLUMNS:	NA	NA	NA	NA
CEILING-ROOF ASSEMBLY:	NA	NA	NA	NA
VERTICAL SHAFTS:	NA	NA	NA	NA
CHASES - P. E. M.:	NA	NA	NA	NA
MIXED OCCUPANCY SEPARATION:	NA	NA	NA	NA
TENANT SEPARATION:	NA	NA	NA	NA

LIFE SAFETY SYSTEMS

EMERGENCY LIGHTING AND EXIT SIGNS:	YES
FIRE ALARM AND SMOKE DETECTOR SYSTEMS:	YES
PANIC HARDWARE:	YES

EXIT REQUIREMENTS

DEAD END LIMIT-MAXIMUM CONDITION:	50 FEET
TRAVERSED DISTANCE TO EXIT - MAXIMUM CONDITION:	200 FEET

NOTE: SEE LIFE SAFETY PLAN ON SHEET T1.3 AND T1.4

TOTAL FIXTURE SUMMARY **FIXTURES A PART OF BUILDING CORE**

	REQUIRED	PROVIDED
TOTAL OCCUPANT LOAD: 268		
FIXTURES - MALE & FEMALE		
LAVATORIES	4	4 EACH PER FLOOR 2 MEN, 2 WOMEN
WATER CLOSETS	7	7 WC 2 URINALS PER FLOOR

ROCK POINT BANK

401 Chestnut Street Chattanooga Tennessee



ISSUE DATES
INITIAL ISSUE 05-26-20
1 city comments 6/15/20
2 Revision 2 Date 2

JOB NO. # | DWN Author | CKD Checker

T1.2
BUILDING CODE SUMMARY