

GENERAL SITE PLAN STANDARD NOTES

- LANDSCAPE MULCH: PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION AS SPECIFIED BY DURHAM CITY CODE SECTION 46-87.
- LANDSCAPE/SITE COMPLIANCE INSPECTION: ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, MUST BE IN PLACE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE. CONTACT THE DURHAM CITY-COUNTY PLANNING DEPARTMENT SITE COMPLIANCE STAFF TO SCHEDULE AN INSPECTION. SITE COMPLIANCE INSPECTION FEES MUST BE RECEIVED BY THE DURHAM CITY-COUNTY PLANNING DEPARTMENT PRIOR TO SCHEDULING AN INSPECTION. IF A RE-INSPECTION IS REQUIRED, AN ADDITIONAL INSPECTION FEE MUST BE RECEIVED BY THIS OFFICE PRIOR TO THE RE-INSPECTION.
- STREET TREE NOTE FOR ALL SITE PLANS/PRELIMINARY PLATS AND FINAL PLATS WHERE TREES WILL BE PLANTED: STREET TREES MEETING THE REQUIREMENTS OF UDO SECTION 9.6 SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, UNLESS THE PLANTING HAS BEEN POSTPONED IN ACCORDANCE WITH THE REQUIREMENTS OF UDO SEC. 9.11.
- YARD TREE NOTE FOR ALL SITE PLANS/PRELIMINARY PLATS AND FINAL PLATS WHERE TREES WILL BE PLANTED: YARD TREES MEETING THE REQUIREMENTS OF UDO SECTIONS 7.1.2C AND 6.8.2C SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, UNLESS THE PLANTING HAS BEEN POSTPONED IN ACCORDANCE WITH THE REQUIREMENTS OF UDO SEC. 9.11.
- CONSTRUCTION IN PRESERVED TREE COVERAGE AREAS (UDO SECTION 8.3):
 - ALL BUILDINGS, UTILITIES, AND STORMWATER FACILITIES SHALL BE SET BACK AT LEAST 10 FEET FROM THE EDGE OF ANY PRESERVED TREE COVERAGE AREA. NO EASEMENTS, EXCEPT CONSERVATION, GREENWAY, AND LANDSCAPE EASEMENTS, SHALL BE INCLUDED WITHIN A TREE COVERAGE AREA.
- TREE PROTECTION NOTE (UDO SEC. 8.3): TREE PROTECTION FENCE CONSTRUCTED OF A MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE, OR ISSUANCE OF A GRADING PERMIT. SUCH FENCING SHALL BE MOUNTED ON METAL POSTS PLACED NO FURTHER THAN 10 FEET APART. SILT FENCING SHALL NOT SERVE AS TREE PROTECTION FENCING. WARNING SIGNS SHALL BE POSTED AT EACH END OF THE TREE PROTECTION FENCE WITH PERIMETER SIGNS SPACED A MAXIMUM OF 100 FEET ON CENTER THEREAFTER. EACH SIGN SHALL READ: "NO TRESPASSING/TREE PROTECTION AREA" AND "PROHIBID ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
- ROOT PROTECTION ZONE (UDO SEC. 8.3): SHALL BE ESTABLISHED AROUND ALL TREES TO BE PRESERVED. THE ROOT PROTECTION ZONE SHALL EITHER BE A SIX-FOOT RADIUS AROUND A TREE OR ONE FOOT OF RADIUS FOR EVERY INCH OF DIAMETER AT BREAST HEIGHT (DBH) OF EXISTING TREES, WHICHEVER IS GREATER.
- PROTECTION OF EXISTING VEGETATION (UDO SEC. 8.3): AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA PRIOR TO OR AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, DUMPING OF WASTE, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- FOR COMMERCIAL SITES WITHOUT PROPOSED RESTAURANTS (BUT WHERE RESTAURANTS WOULD BE AN ALLOWED USE IN THE ZONING DISTRICT): AS DESIGNED, A RESTAURANT FACILITY MAY NOT BE PERMITTED IN THIS BUILDING. AN APPROVED, REVISED SITE PLAN WILL BE REQUIRED TO ACCOMMODATE A GREASE TRAP, TRASH HANDLING, AND OTHER REQUIREMENTS RELATED TO A RESTAURANT FACILITY.
- FIRE NOTE TO BE INCLUDED ON UTILITY PLAN SHEET: PROVIDE THE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANTS.
- FIRE NOTES TO BE INCLUDED ON COVER SHEET: SAFEGUARDS DURING THE CONSTRUCTION, ALTERATION, OR DEMOLITION OF STRUCTURES SHOWN ON THIS SITE PLAN SHALL BE IN ACCORDANCE WITH CHAPTER 33 OF THE 2018 NORTH CAROLINA FIRE CODE AND NFPA241 (2013 EDITION).
- FOR COUNTY SOIL AND EROSION CONTROL:
 - A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF A LAND-DISTURBANCE PERMIT.
 - IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.

GENERAL ENGINEERING STANDARD NOTES

- SIDEWALK NOTE:** THE LOCATION OF THE SIDEWALKS SHOWN ON THIS PLAN IS SCHEMATIC. A CITY OF DURHAM AND/OR NCDOT ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. AFTER OBTAINING THE REQUIRED PERMITS, PLEASE CONTACT THE CITY OF DURHAM ENGINEERING CONSTRUCTION INSPECTION OFFICE AT 919-560-4326 FOR A PRE-CONSTRUCTION CONFERENCE AND FIELD VISIT PRIOR TO ANY WORK ON THE PROPOSED SIDEWALK.
- PUBLIC ACCESS EASEMENT FOR SIDEWALK NOTE:** CERTIFICATION OF EXPRESS DEDICATION FOR PUBLIC USE. SIDEWALK THAT RUNS ALONG PRESIDENTIAL DRIVE AT THE PROPERTY LINE ("SIDEWALKS") ARE EXPRESSLY DEDICATED TO USE BY THE GENERAL PUBLIC. UPON CONSTRUCTION OF THE SIDEWALKS IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS, CITY COUNCIL MAY ACCEPT THE SIDEWALKS FOR MAINTENANCE BY THE CITY OF DURHAM ("CITY"). ACCEPTANCE OF THE SIDEWALKS BY CITY COUNCIL CONVEYS THE RIGHT IN, OVER, UNDER, AND THROUGH THE SIDEWALKS, NECESSARY FOR THE CITY AND ITS AGENTS AND CONTRACTORS, TO MAINTAIN AND REPAIR THE SIDEWALKS IN THE CITY'S SOLE DISCRETION. THE RIGHT OF INGRESS/EGRESS TO THE SIDEWALKS FROM THE PUBLIC RIGHT-OF-WAY IS ALSO GRANTED TO THE CITY SO THE CITY CAN MAINTAIN AND REPAIR THE SIDEWALKS AFTER ACCEPTANCE. THE CITY IN ITS SOLE DISCRETION HAS THE RIGHT TO DETERMINE THE POINTS OF INGRESS AND EGRESS FROM THE PUBLIC RIGHT-OF-WAY NECESSARY TO PERFORM MAINTENANCE OR REPAIR AFTER ACCEPTANCE.
- DRIVEWAY PERMIT NOTES:** A CITY OF DURHAM DRIVEWAY PERMIT IS REQUIRED PRIOR TO ANY DRIVEWAY CONSTRUCTION ON PUBLIC RIGHT-OF-WAY. SUBMIT PLANS FOR DRIVEWAY PERMIT APPROVAL TO THE DURHAM DEVELOPMENT SERVICES CENTER PUBLIC WORKS DESK. AFTER OBTAINING THE PERMIT, PLEASE CALL CITY OF DURHAM ENGINEERING INSPECTION OFFICE AT 919-560-4326 PRIOR TO START OF CONSTRUCTION. [OR] NCDOT DRIVEWAY PERMIT REQUIRED PRIOR TO CONSTRUCTION. CONTACT NCDOT AT 919-220-4750 FOR REQUIREMENTS.

INSPECTION STANDARD NOTES

- THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 - 2009) AND CHAPTER 11 OF THE NCBC UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, ENGINEER-ARCHITECT OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. AN AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNEE, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODE PRIOR TO CO ISSUANCE.

CITY STORMWATER STANDARD NOTES

- AT A MINIMUM, THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE CITY OF DURHAM (CITY) REFERENCE GUIDE FOR DEVELOPMENT (RGD) AND ANY LETTERS TO INDUSTRY (POSTED ON THE CITY'S WEBSITE) THAT ARE IN EFFECT THE DATE CONSTRUCTION DRAWINGS ARE FIRST RECEIVED FOR REVIEW BY THE CITY.
- FINAL DESIGN CALCULATIONS FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)) REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HEC-1 MODELS. FOR EACH SCM, AS APPLICABLE, STAGE-STORAGE RELATIONSHIP AND INFLOW AND OUTFLOW HYDROGRAPHS ARE REQUIRED. ALL TABULATED DATA INCLUDING CALCULATIONS SHOWING THE LIMITING DISCHARGE, WHETHER ORIFICE, WEIR, BARREL, OR OUTLET CONTROL, AS APPROPRIATE, IS REQUIRED. HYDROCAD, HYDRAFLOW HYDROGRAPHS, AND PONDPAK ARE COMMONLY USED AND RECOGNIZED SOFTWARE PROGRAMS WHICH INCORPORATE ROUTING METHODOLOGY ACCEPTED BY THE CITY.
- STORMWATER CONTROL MEASURE(S) (SCM(S)) PERMIT FEE(S) AND EITHER A PAYMENT INTO THE STORMWATER REPLACEMENT FUND OR THE PROVISION OF AN ALTERNATE SECURITY ARE REQUIRED FOR ALL SCM(S) ASSOCIATED WITH THIS DEVELOPMENT. CONSTRUCTION OF THE DEVELOPMENT IS NOT ALLOWED TO COMMENCE UNTIL THESE ITEMS ARE PROVIDED IN ACCORDANCE WITH CITY STORMWATER STANDARDS OR IN ACCORDANCE WITH WRITTEN POLICY. THE DESIGNER SHALL SUBMIT A SEALED ENGINEER'S CONSTRUCTION COST ESTIMATE FOR EVERY SCM PROPOSED IN THE DEVELOPMENT PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS IF A FINANCIAL GUARANTEE IN THE FORM OF PAYMENT INTO THE STORMWATER REPLACEMENT FUND IS UTILIZED.
- AN AS-BUILT CERTIFICATION FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)), PROVIDED BY THE CERTIFYING ENGINEER, IS REQUIRED. THE AS-BUILT CERTIFICATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF DURHAM SCM PROGRAM. REFER TO SECTION 8.6, AS-BUILT CERTIFICATION REQUIREMENTS FOR SCMS IN THE CITY OF DURHAM, OF THE REFERENCE GUIDE FOR DEVELOPMENT. THE SCM AS-BUILT CERTIFICATION(S) SHALL BE APPROVED BY THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO ISSUANCE OF ANY FINAL CERTIFICATES OF OCCUPANCY/COMPLIANCE FOR DEVELOPMENT. WITH THE EXCEPTION OF WHEN AN APPROPRIATE CONSTRUCTION SECURITY HAS BEEN PROVIDED FOR SINGLE FAMILY OR TOWNHOME DEVELOPMENT, WITH THIS PROVIDED CONSTRUCTION SECURITY, CERTIFICATES OF OCCUPANCY/COMPLIANCE CAN BE ISSUED FOR A PERCENTAGE OF SINGLE FAMILY LOTS IN ACCORDANCE WITH CITY REQUIREMENTS.
- STORMWATER CONTROL MEASURE(S) (SCM(S)) DESIGN CALCULATIONS WILL NOT BE REVIEWED OR APPROVED WITH THE SITE PLAN/PRELIMINARY PLAT SUBMITTAL. ALL SCM DESIGNS WILL BE REVIEWED AND APPROVED DURING THE CONSTRUCTION DRAWING SUBMITTAL PROCESS. IF AT THE TIME OF CONSTRUCTION DRAWING SUBMITTAL, IT IS FOUND THAT THE PROPOSED SCM(S) IS UNDERDESIGNED, NOT PROPERLY ACCESSIBLE, OR OTHERWISE INSUFFICIENT OR UNSUITABLE FOR THE SITE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO INSURE THAT THE APPLICABLE STORMWATER ORDINANCE REQUIREMENTS ARE MET. A REVISED SITE PLAN OR PRELIMINARY PLAT MAY BE REQUIRED IF THE ORIGINALLY PROPOSED SCM(S) ARE FOUND INSUFFICIENT, NOT PROPERLY ACCESSIBLE, OR UNSUITABLE AND ALTERNATIVE SCM(S) WITH ASSOCIATED EASEMENTS ARE REQUIRED.
- THE DEVELOPER/CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO COMMENCING WORK ON ANY STORMWATER CONTROL MEASURE (SCM). IF THE SCM WILL BE CONSTRUCTED INITIALLY AS A SEDIMENTATION AND EROSION CONTROL (S&EC) DEVICE, TO BE CONVERTED TO A PERMANENT SCM AT A LATER TIME, THE PRECONSTRUCTION MEETING SHOULD BE SCHEDULED PRIOR TO CONSTRUCTION OF THE S&EC DEVICE. CALL 919-560-4326 EXT. 20238 TO SCHEDULE THE REQUIRED MEETING A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE DESIRED MEETING DATE. THIS IS IN ADDITION TO OTHER PRECONSTRUCTION MEETING REQUIREMENTS FOR EROSION CONTROL, ENGINEERING INSPECTIONS, ETC.
- TO RECEIVE SITE PLAN/PRELIMINARY PLAT APPROVAL FOR DEVELOPMENTS OTHER THAN SINGLE FAMILY DETACHED, TOWNHOME AND DUPLEX RESIDENTIAL DEVELOPMENTS THAT ARE MAKING USE OF NUTRIENT BANKS OR NCEP, THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT IS CONTINGENT UPON THE PURCHASE OF NUTRIENT CREDITS. IF A REVISED SITE PLAN/PRELIMINARY PLAT IS SUBMITTED FOR THIS DEVELOPMENT, THE REVISED SITE PLAN/PRELIMINARY PLAT WILL BE SUBJECT TO ANY ORDINANCES IN PLACE AT THE TIME OF THE REVISED SITE PLAN/PRELIMINARY PLAT SUBMISSION PRIOR TO THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT. A LETTER/RECEIPT SHOWING THE PURCHASE OF THE NUTRIENT CREDITS FOR THIS DEVELOPMENT AND A COPY OF THE NUTRIENT BANK LEDGER IF APPLICABLE SHOWING THE TOTAL NUTRIENT CREDITS AVAILABLE MINUS ANY AND ALL DEDUCTIONS, IS TO BE PROVIDED TO THE STORMWATER DEVELOPMENT REVIEW SECTION.

PUBLIC WORKS CONDITIONS OF APPROVAL

- THE DESIGNING PROFESSIONAL (A NCPE, NCPLS OR NCRLA/NCPLA - AS REQUIRED) SHALL SUBMIT THREE (3) SETS OF CONSTRUCTION DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. CONSTRUCTION DRAWING APPROVAL IS REQUIRED PRIOR TO COMMENCING CONSTRUCTION (SEE CONSTRUCTION PLAN APPROVAL PROCESS). THE APPROVAL OF CONSTRUCTION DRAWINGS IS SEPARATE FROM SITE PLAN APPROVAL. CITY OFFICIALS SHALL REVIEW ALL SIZES, MATERIALS, SLOPES, LOCATIONS, EXTENSIONS AND DEPTHS FOR ALL PROPOSED UTILITIES (WATERLINES, SANITARY SEWER LINES AND STORM DRAINAGE CONVEYANCE SYSTEMS) FOR COMPLIANCE WITH ALL APPLICABLE REGULATORY STANDARDS, SPECIFICATIONS, AND BEST MANAGEMENT PRACTICES.
- THE DESIGNING PROFESSIONAL (A NCPE, NCPLS OR NCRLA/NCPLA - AS REQUIRED) SHALL SUBMIT ONE (1) SET OF AS-BUILT DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. AS-BUILT DRAWING APPROVAL IS REQUIRED PRIOR TO WATER METER INSTALLATION AND/OR SANITARY SEWER SERVICE CONNECTION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- SEWER PERMIT FROM DURHAM COUNTY REQUIRED. CONTACT DURHAM COUNTY UTILITY DIVISION 919-403-9033.
- PIPES AND/OR STRUCTURES SHOWN IN THE EROSION CONTROL PLAN OF THE SITE PLAN THAT ARE PROPOSED TO BE PERMANENT WILL BE REVIEWED AND APPROVED AS PART OF THE GRADING PLAN DURING CONSTRUCTION DRAWING REVIEW. THESE PIPES AND/OR STRUCTURES MAY NOT BE INSTALLED PRIOR TO CONSTRUCTION DRAWING APPROVAL AND PAYMENT OF INSPECTION FEES.
- AN NCDOT OR CITY OF DURHAM DRIVEWAY PERMIT IS REQUIRED.
- ADD THE FOLLOWING NOTES WHEN PUBLIC SIDEWALK AND CURB RAMPS ARE PROPOSED:
 - PROWAG STANDARDS ARE TO BE USED. SEE CITY OF DURHAM CURB CUTS DETAILS <https://durhamnc.gov/DocumentCenter/View/2114>
 - FOR RAMPS IN "TIGHT" EXISTING DEVELOPMENTS (DOWNTOWN, ETC) IT IS RECOMMENDED SPECIFIC RAMP DETAILS ARE NEEDED TO PREVENT CONSTRUCTION DELAYS. THE BURDEN TO MAKE IT WORK IS ON THE DESIGNING ENGINEER.
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- PUBLIC ACCESS EASEMENT FOR SIDEWALK NOTE:** CERTIFICATION OF EXPRESS DEDICATION FOR PUBLIC USE. SIDEWALK THAT RUNS ALONG PRESIDENTIAL DRIVE AT THE PROPERTY LINE ("SIDEWALKS") ARE EXPRESSLY DEDICATED TO USE BY THE GENERAL PUBLIC. UPON CONSTRUCTION OF THE SIDEWALKS IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS, CITY COUNCIL MAY ACCEPT THE SIDEWALKS FOR MAINTENANCE BY THE CITY OF DURHAM ("CITY"). ACCEPTANCE OF THE SIDEWALKS BY CITY COUNCIL CONVEYS THE RIGHT IN, OVER, UNDER, AND THROUGH THE SIDEWALKS, NECESSARY FOR THE CITY AND ITS AGENTS AND CONTRACTORS, TO MAINTAIN AND REPAIR THE SIDEWALKS IN THE CITY'S SOLE DISCRETION. THE RIGHT OF INGRESS/EGRESS TO THE SIDEWALKS FROM THE PUBLIC RIGHT-OF-WAY IS ALSO GRANTED TO THE CITY SO THE CITY CAN MAINTAIN AND REPAIR THE SIDEWALKS AFTER ACCEPTANCE. THE CITY IN ITS SOLE DISCRETION HAS THE RIGHT TO DETERMINE THE POINTS OF INGRESS AND EGRESS FROM THE PUBLIC RIGHT-OF-WAY NECESSARY TO PERFORM MAINTENANCE OR REPAIR AFTER ACCEPTANCE.
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- HORIZONTAL AND VERTICAL SEPARATION NOTES:**
 - SANITARY SEWERS SHALL BE LAID AT LEAST 10- FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE CITY OF DURHAM MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150-PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 18-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAINS.
 - IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
- CROSSINGS NOTES:**
 - SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18- INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED.
 - THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE, WHICH EXTENDS 10- FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE CITY OF DURHAM FOR USE IN WATER MAIN CONSTRUCTION.

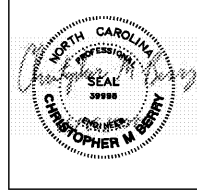
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REVISIONS	
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SHEET NAME:
SITE NOTES

DATE: 06/15/2019
 DRAWN BY: CSH
 CHECKED BY: CMB
 PROJECT NO: 19065
 SHEET NUMBER:
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