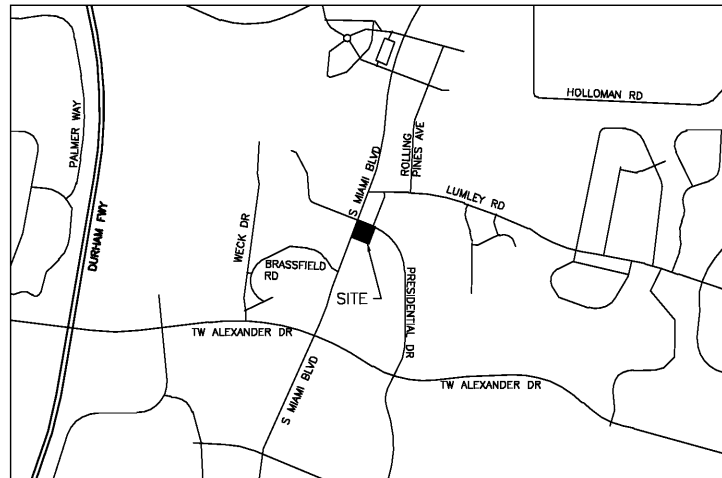


**PUBLIC WORKS CONDITIONS OF APPROVAL**

1. THE DESIGNING PROFESSIONAL (A NCPE, NCPLS OR NCRLA/NCPLA - AS REQUIRED) SHALL SUBMIT THREE (3) SETS OF CONSTRUCTION DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. CONSTRUCTION DRAWING APPROVAL IS REQUIRED PRIOR TO COMMENCING CONSTRUCTION (SEE CONSTRUCTION PLAN APPROVAL PROCESS). THE APPROVAL OF CONSTRUCTION DRAWINGS IS SEPARATE FROM SITE PLAN APPROVAL. CITY OFFICIALS SHALL REVIEW ALL SIZES, MATERIALS, SLOPES, LOCATIONS, EXTENSIONS AND DEPTHS FOR ALL PROPOSED UTILITIES (WATERLINES, SANITARY SEWER LINES AND STORM DRAINAGE CONVEYANCE SYSTEMS) FOR COMPLIANCE WITH ALL APPLICABLE REGULATORY STANDARDS, SPECIFICATIONS, AND BEST MANAGEMENT PRACTICES.
2. THE DESIGNING PROFESSIONAL (A NCPE, NCPLS OR NCRLA/NCPLA - AS REQUIRED) SHALL SUBMIT ONE (1) SET OF AS-BUILT DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. AS-BUILT DRAWING APPROVAL IS REQUIRED PRIOR TO WATER METER INSTALLATION AND/OR SANITARY SEWER SERVICE CONNECTION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



VICINITY MAP  
N.T.S.

**SITE DATA**

PROJECT DESCRIPTION: NEW CONSTRUCTION OF AN O'REILLY AUTO PARTS STORE  
 LOCATION: 2801 S MIAMI BLVD, DURHAM, NC 27703  
 PARCEL PIN: 0749-04-63-2032  
 PARCEL PID: 157332  
 CURRENT USE: UNDEVELOPED  
 ZONING: IL/CC (INDUSTRIAL LIGHT/COMMERCIAL CENTER)  
 FLOOD ZONE: ZONE X, AS SHOWN ON MAP NO. 3720074900K DATED 10/19/2018  
 WATERSHED: STIRRUP IRON CREEK  
 RIVER BASIN: NEUSE  
 SITE AREA: 0.93 ACRES  
 DISTURBED AREA: 41,850 SF  
 EX. IMPERVIOUS AREA: 0.07 ACRES (3,200 SF)  
 LOT COVERAGE  
 BUILDING AREA: 7,225 SF  
 PROP. IMPERVIOUS AREAS: 0.60 ACRES (64%)  
 BUILDING SETBACKS: REQUIRED PROVIDED  
 FRONT (W) 40' 83.0'  
 REAR (E) 25' 41.4'  
 SIDE (N) 40' 85.7'  
 SIDE (S) 12.5' 25.0'  
 PARKING SUMMARY: REQUIRED PROVIDED  
 STANDARD 34 34  
 STANDARD HC ACCESSIBLE 1 1  
 HC VAN ACCESSIBLE 1 1  
 TOTAL 36 36  
 PARKING CALCULATIONS: 1 SPACE PER 200 SF  
 7,225 SF / 200 SF = 36 REQUIRED SPACES

BICYCLE PARKING CALCULATIONS:  
 REQUIRED: 1 SPACE PER 5,000 SF (MIN. 4 SPACES)  
 = 7,225 SF / 5,000 SF = 1.45 REQUIRED SPACES  
 PROVIDED: = 4 SPACES

TREE COVERAGE:  
 REQUIRED: 15% TREE COVERAGE REQUIRED FOR NON-RESIDENTIAL SUBURBAN TIER SITE  
 = 40,250 SF \* 15% = 6,038 SF OF TREE COVERAGE  
 PROVIDED: = 6,100 SF

\*2" CALIBER HARDWOOD:  
 STANDARD: 175 SF / 1 TREE  
 PROVIDED: = 20 \* 175 SF = 3,500 SF

\*1" CALIBER HARDWOOD:  
 STANDARD: 100 SF / 1 TREE  
 PROVIDED: = 26 \* 100 SF = 2,600 SF

**SITE IMPROVEMENTS FOR:**



**AUTO PARTS**

2801 S MIAMI BLVD  
DURHAM, NC

DEVELOPER:

BELTERRA PARTNERS  
728 SHADES CREEK PKWY, SUITE 130  
BIRMINGHAM, AL 35209  
(205) 968-1701

CIVIL ENGINEER:



355 KEITH STREET, SUITE 109  
CLEVELAND, TN 37312 (423) 790-5880

ARCHITECT:

TORGERSON DESIGN PARTNERS  
116 N. 2ND AVE  
OZARK, MO 65721  
(417) 581-8889

**CUMULATIVE TRIP GENERATION TABLE**

PREVIOUSLY APPROVED TRIPS	SIZE	AM TRIPS	PM TRIPS
BUSINESS PARK 108	28,800 SF	42	40
BUSINESS PARK 107	53,020 SF	78	68
BUSINESS CENTER A (LOT 103A)	32,686 SF	0	85
BUSINESS PARK 102	132,334 SF	155	120
BUSINESS PARK 204	56,020 SF	88	76
BUSINESS CENTER 203	48,400 SF	45	60
BUSINESS CENTER 103B	45,054 SF	0	117
OUTPARCEL D	12 VFP (3,200 SF)	60	80
BUSINESS PARK 105	86,614 SF	128	111
BUSINESS PARK 210	85,400 SF	126	106
DARGARE (LOT 6A)	285 STUDENTS (15,000 SF)	119	105
OUTPARCEL 3-C (SHEET 2)	5,484 SF	125	106
BUSINESS PARK 106	55,590 SF	80	72
WAFFLE HOUSE (LOT 3-1)	1,875 SF	22	21
STORAGE FACILITY (LOT 6B)	76,000 SF	19	22
VARIETY STORE (OUTPARCEL E)	9,800 SF	18	21
BUSINESS CENTER 203 (SCHOOL)	198 STUDENTS + 20 STAFF	206	138
KNIER FLEX BUILDING	41,000 SF	40	43
TOTAL APPROVED TRIPS		1,401	1,554

PROPOSED TRIPS	SIZE	AM TRIPS	PM TRIPS
APPROVED PARCELS			
AUTO PARTS STORE	7,225 SF	14	16
TOTAL ALLOWED TRIPS		1,415	1,570
REMAINING TRIPS		215	216

**SPECIAL CONDITIONS OF APPROVAL**

**LOCAL CONTACTS**

- |  |  |
|--|--|
| DURHAM - PLANNING<br>JACOB WIGGINS<br>PHONE: 919-560-4137 EXT.28257    | DURHAM - FIRE REVIEW<br>MATTHEW CRAWFORD<br>PHONE: 919-560-4551            |
| DURHAM - BUILDING REVIEW<br>CARLOS DIAZ<br>PHONE: 919-560-4287         | DURHAM - ENGINEERING<br>JUSTIN WEIST<br>PHONE: 919-560-4326 EXT.30278      |
| DURHAM - BUILDING INSPECTIONS<br>WC BLALOCK<br>PHONE: 919-560-4285     | DURHAM - TRANSPORTATION<br>EARLENE THOMAS<br>PHONE: 919-560-4366 EXT.36425 |
| DURHAM - WATER & SEWER<br>UNITY BAILEY<br>PHONE: 919-560-4326          | DUKE ENERGY - ELECTRIC<br>PHONE: 800-777-9898                              |
| DURHAM COUNTY UTILITIES- SEWER<br>ELYSSA DARNER<br>PHONE: 919-560-9052 | PSNC - NATURAL GAS<br>PHONE: 877-776-2427                                  |
| NC DOT<br>PHONE: 919-220-4680  | DURHAM COUNTY - EPSC<br>PHONE: 919-560-7992                                |

**INDEX OF SHEETS**

- CIVIL ENGINEERING PLANS
- C-00 COVER SHEET
  - C-01 EXISTING CONDITIONS
  - C-02 SITE LAYOUT & PAVING PLAN
  - C-03 SITE GRADING & DRAINAGE PLAN
  - C-04 EROSION CONTROL PLAN
  - C-05 SITE UTILITY PLAN
  - C-06 SITE DETAILS
  - C-07 SITE DETAILS
  - C-08 SITE DETAILS
  - C-09 SITE DETAILS
  - C-10 SITE DETAILS
  - C-11 SITE DETAILS
  - C-12 SITE DETAILS
  - C-13 SITE DETAILS
  - L-01 LANDSCAPE PLAN

**SITE PLAN**

SITE PLAN APPROVED BY THE DURHAM  
CITY-COUNTY PLANNING DEPARTMENT

Planning Director or Designee and Date

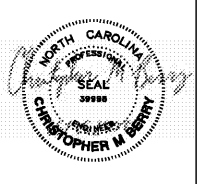
NULL OR VOID AFTER FOUR YEARS FROM  
DATE OF APPROVAL  
(For portions without an active building permit or  
Certificate of Compliance)

CASE #: D1900439

CIVIL ENGINEER:  
**BERRY ENGINEERS LLC**  
355 KEITH ST, SUITE 109  
CLEVELAND, TN 37312  
TEL: (423) 790-5880  
DBA BERRY ENGINEERS, PLLC; FIRM LICENSE: P-1188

DEVELOPER:  
BELTERRA PARTNERS, LLC.  
728 SHADES CREEK PKWY  
SUITE 130  
BIRMINGHAM, AL 35209

PROJECT:  
**O'REILLY AUTO PARTS**  
2801 S MIAMI BLVD  
DURHAM, NC



REVISIONS

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SHEET NAME:  
COVER SHEET

DATE: 06/15/2019

DRAWN BY: CSH

CHECKED BY: CMB

PROJECT NO.: 19065

SHEET NUMBER:

**C-00**