

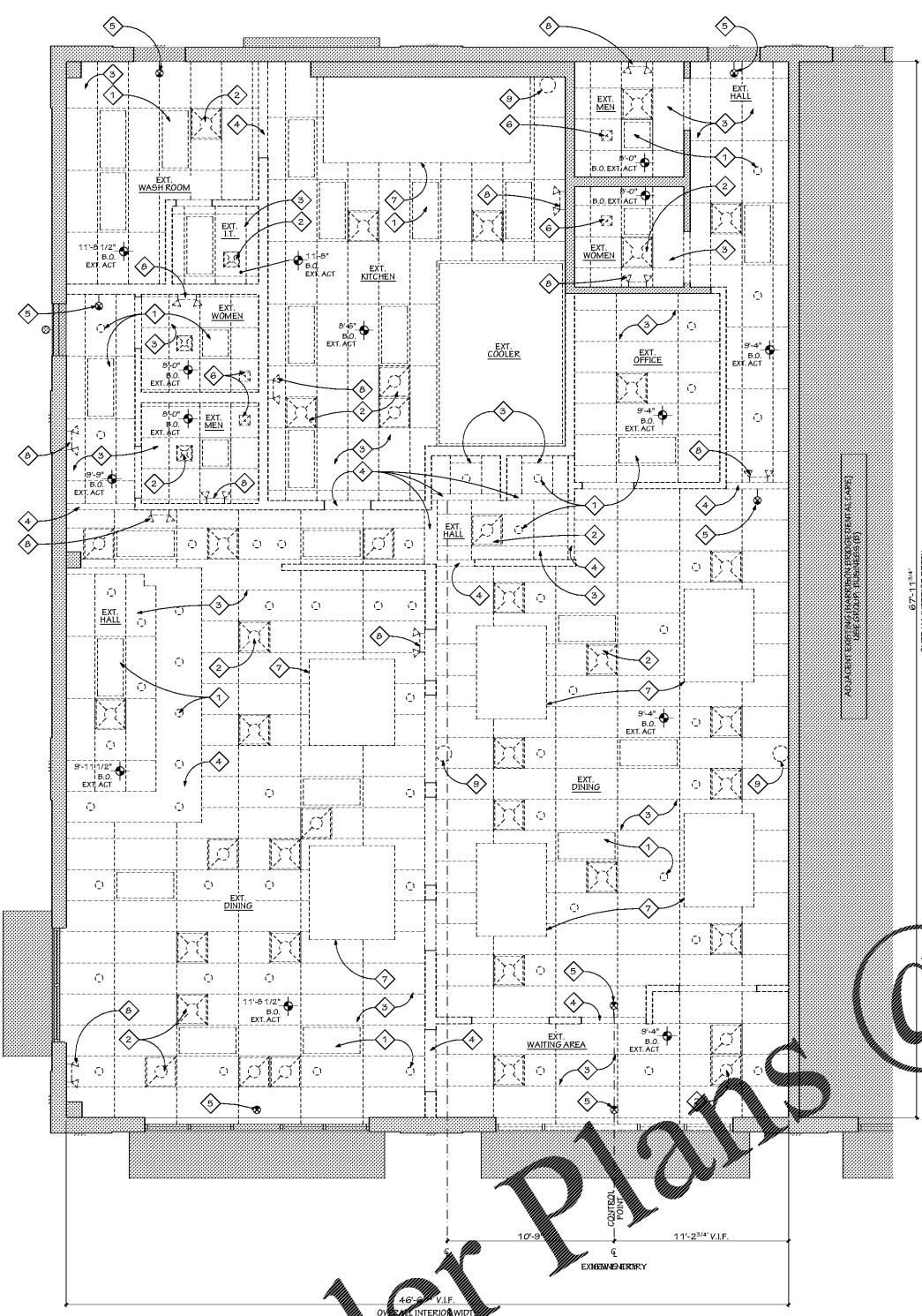
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SHEET TITLE
Demolition Reflected Ceiling Plan

SHEET NUMBER
21.03
 Permit Documents

- DEMOLITION NOTES**
 THIS SHEET ONLY
1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER.
 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL STABILITY OF THE EXISTING STRUCTURE IN THE AREAS INVOLVING NEW WORK AND FOR PROTECTING THE EXISTING STRUCTURE FROM DAMAGE DURING THE COURSE OF THE WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING SHORING, NEEDLES, BULKHEADS AND ANY OTHER ITEMS NECESSARY FOR THE PROTECTION AND STABILITY OF THE BUILDING. NO WORK THAT WILL JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE DONE WITHOUT CONSULTING THE STRUCTURAL ENGINEER OR ARCHITECT.
 3. THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER OF THE PROPERTY SO DAMAGED.
 4. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS AND FAMILIARIZE THEMSELVES WITH THEIR PROVISIONS REGARDING THE REMOVAL OF EXISTING ITEMS AND WORK. THEY SHALL UNDERSTAND THAT ALL ITEMS AND WORK NOT SPECIFICALLY MENTIONED TO BE REMOVED BY THE REQUIREMENT OF OTHER SECTIONS OF THE SPECIFICATIONS SHALL BE REMOVED AS PART OF THE WORK UNDER THIS SECTION.
 5. CONTRACTOR SHALL REVIEW DEMOLITION DRAWINGS AND COORDINATE WITH ALL OTHER AVAILABLE DRAWINGS. INCLUDE ALL COSTS NECESSARY TO COMPLETE WORK. REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK IF ANY CONFLICTING INFORMATION IS PROVIDED.
 6. THE CONTRACTOR SHALL DISPOSE ALL CONSTRUCTION WASTE IN A LAWFUL MANNER IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
 7. UPON DISCOVERY OF ANY MATERIALS SUSPECTED OR SUSPECTED TO BE HAZARDOUS, SUCH AS NOT LIMITED TO ASBESTOS OR LEAD PAINTS, MATERIAL SHALL BE LEFT IN PLACE UNLESS AND UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT OR OWNER. REPRESENTATIVE CONTACTED.
 8. THE CONTRACTOR SHALL DISCONNECT, REMOVE, STORE, REPAIR AND/OR RECONNECT ANY EQUIPMENT TO REMAIN AND/OR REPAIR AS REQUIRED TO INSTALL NEW WORK, EQUIPMENT.
 9. PATCH AND REPAIR ALL EXISTING SURFACES DISTURBED BY SECTION 4 AND 5. REPAIR REPAIRATION FOR NEW FINISHES. REPAIR SHALL BE TO MATCH EXISTING WHERE APPLICABLE.
 10. DEMOLITION FINISHES AND/OR PREPARE SURFACE ON FRONT OF HOUSE WALLS AS REQUIRED TO INSTALL NEW FINISHES - SEE FURNITURE, FIXTURE, & EQUIPMENT/FINISH PLAN FOR ADDITIONAL INFORMATION.
 12. SHADED CONSTRUCTION INDICATES EXISTING CONSTRUCTION TO REMAIN.
 13. ITEMS SCHEDULED FOR REMOVAL ARE INDICATED BY DASHED LINES.
 14. ALL DEMOLITION AND EXPOSURE OF INTERIOR SURFACES TO THE EXTERIOR SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EXTERIOR DOORS OR ROOFTOP/MECHANICAL EQUIPMENT HAVE BEEN REMOVED/REPLACED/ADDED.

- LEGEND**
 THIS SHEET ONLY
- EXISTING WALL/CEILING/HVAC/LIGHTING, ETC TO REMAIN.
 - DEMOLITION ITEMS TO BE REMOVED.
- GENERAL NOTES**
 THIS SHEET ONLY
1. REMOVE ALL DEBRIS FROM ALL ROOMS (TYP.).
 2. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF EXISTING COLUMN LOCATIONS AND SIZES ARE DIFFERENT FROM WHAT OCCURS IN THESE DRAWINGS, AND OF ANY UNDOCUMENTED STRUCTURAL COLUMNS OR CONDITIONS, PIPES, ETC. WHICH ARE LOCATED IN THE TENANT SPACE BUT DO NOT APPEAR IN THESE DRAWINGS. DRAWINGS CAN BE REVISED AS MAY BE REQUIRED TO ACCOMMODATE THE AS-BUILT CONDITIONS.
 3. ANY EXISTING DRYWALL FINISH WHICH IS TO REMAIN SHALL BE PATCHED FROM TOP AND PAINT TO THE SAME CONDITION TO ACCEPT FINISHES. CONTRACTOR SHALL DETERMINE THE BEST METHOD FOR PATCHING OR IF THE DRYWALL NEEDS TO BE REMOVED AND REFINISHED TO ACHIEVE DESIRED FINISH. EXPOSED PART OF DRYWALL WHERE ITEMS HAVE BEEN PLACED SHALL NOT BE LIMITED TO ELECTRICAL BOXES, TUBS, MIRRORS, DOOR JAMBS, ETC.
 4. ALL EXISTING ITEMS NOT BEING REUSED SHOULD BE REMOVED IN ITS ENTIRETY.
- KEYNOTES**
 THIS SHEET ONLY
- 1 EXISTING LIGHT FIXTURE TO BE REMOVED IN ITS ENTIRETY (TYP.) - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 2 EXISTING RETURN/SUPPLY DIFFUSER & ASSOCIATED BRANCH DUCTWORK TO BE REMOVED IN THEIR ENTIRETY (TYP.).
 - 3 EXISTING CEILING TILE & GRID TO BE REMOVED IN THEIR ENTIRETY WITHIN LIMITS SHOWN (TYP.).
 - 4 EXISTING GWB BULKHEAD TO BE REMOVED IN ITS ENTIRETY.
 - 5 EXISTING EXIT SIGN TO BE REMOVED IN ITS ENTIRETY.
 - 6 EXISTING EXHAUST FAN TO BE REMOVED IN ITS ENTIRETY - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - 7 EXISTING EXHAUST HOOD AND ASSOCIATED FIRE SUPPRESSION EQUIPMENT TO BE REMOVED IN ITS ENTIRETY - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - 8 EXISTING EMERGENCY LIGHT TO BE REMOVED IN ITS ENTIRETY - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 9 EXISTING FIRE SUPPRESSION SYSTEM TO BE REMOVED IN ITS ENTIRETY - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.



True
 NORTH

1 DEMOLITION REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

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