

REVISIONS TABLE

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	06/19/2020

GENERAL NOTES THIS SHEET ONLY

- 1. CONTRACTOR SHALL CLEAN, PATCH, AND LEVEL EXISTING CONCRETE SLAB AS REQUIRED FOR NEW FLOOR FINISHES. FLOOR SURFACES SHALL BE CLASSIFIED AS 'FLAT' WITH OVERALL F<sub>r</sub> = 35 AND F<sub>i</sub> = 25 PER ASTM E 1155 STANDARD TEST METHOD.
- 2. CONTRACTOR SHALL PROVIDE OPTIONAL PRICING TO LEVEL OR SMOOTH FLOORS WITH MAPEI CONCRETE PRIMER & SELF-LEVELING TOPPING FOR DEPRESSIONS GREATER THAN 1". CONTRACTOR SHALL PROVIDE HALEX CORP. VERSASHIELD PRE-FORMED MOISTURE AND VAPOR SUPPRESSION MEMBRANE UNDERLAYMENT OVER TOPPING AND UNDER VINYL FLOORINGS.
- 3. REMOVE ALL DEBRIS FROM ALL ROOMS (TYP.).
- 4. CONTRACTOR SHALL PROVIDE GLASS "FANTY" ON EXTERIOR OF ALL STOREFRONT WINDOWS DURING DEMOLITION AND CONSTRUCTION WORK, AND REMOVE AFTER CONSTRUCTION IS COMPLETE. COLOR SHALL BE WHITE BY GLASSMARK, INC. 108-18 HAWN FREEWAY, DALLAS, TX 75217, PHONE: (403) 788-0779 FAX: (403) 735-0669 E-MAIL: GLASSMARK@TELUSPLANET.NET
- 5. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF EXISTING COLUMN LOCATIONS AND SIZES ARE DIFFERENT FROM WHAT OCCURS IN THESE DRAWINGS, AND OF ANY UNDOCUMENTED STRUCTURAL COLUMNS OR CONDITIONS, PIPES, ETC., WHICH ARE LOCATED IN THE TENANT SPACE BUT DO NOT APPEAR IN THESE DRAWINGS, SO DRAWINGS CAN BE REVISED AS MAY BE REQUIRED TO ACCOMMODATE THE AS-BUILT CONDITIONS.
- 6. ANY EXISTING DRYWALL FINISH WHICH IS EXISTING TO REMAIN SHALL BE PATCHED, PRIMED AND PAINTED TO "LIKE NEW" CONDITION TO ACCEPT NEW FINISHES. CONTRACTOR SHALL DETERMINE THE BEST METHOD FOR PATCHING, OR IF THE DRYWALL WILL NEED TO BE REMOVED AND REPLACED TO ACHIEVE DESIRED FINISH. EXAMPLE: PATCH DRYWALL WHERE ITEMS HAVE BEEN REMOVED SUCH AS, BUT NOT LIMITED TO, ELECTRICAL BOXES, TRIM, MIRRORS, DOOR JAMBS, WALLCOVERINGS, ETC.
- 7. COORDINATE FINAL LOCATION OF POWER AND DATA WITH MILLWORK AND ELECTRICAL DRAWINGS.
- 8. ALL EXISTING ITEMS NOT BEING REUSED SHOULD BE REMOVED IN ITS ENTIRETY.

CONSTRUCTION NOTES THIS SHEET ONLY

- 1. DIMENSIONS ARE TO FACE OF EXISTING WALL, U.N.C.
- 2. DIMENSIONS ARE TO CENTERLINE OR CONTROL POINT OF FIXTURE, U.N.C. - SEE FURNITURE, FIXTURES, & EQUIPMENT SHEET 38.02 FOR ADDITIONAL INFORMATION.
- 3. DIMENSIONS ARE TO FINISHED FACE OF NEW PARTITION. SEE FLOOR PLAN SHEET 31.01 FOR ADDITIONAL INFORMATION.
- 4. CONTRACTOR SHALL LAYOUT ALL WALLS PRIOR TO LAYOUT OF SLAB CUTS.

DEMOLITION NOTES THIS SHEET ONLY

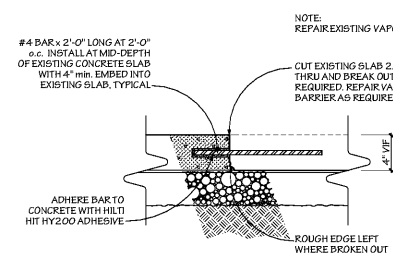
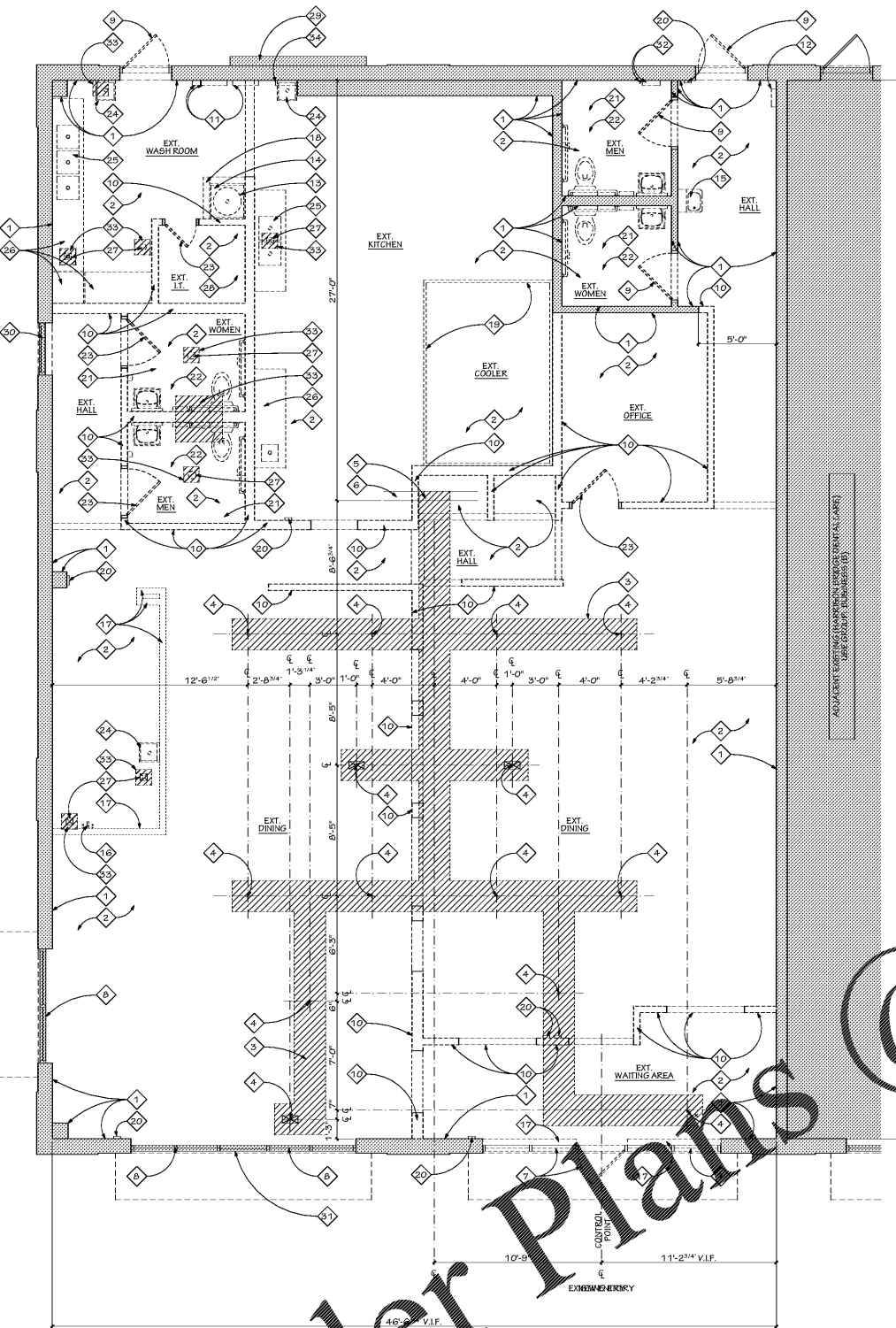
- 1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESPECT AND ASSESS EACH AREA AND TO FULLY FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER.
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL STABILITY OF THE EXISTING STRUCTURE IN THE AREAS INVOLVING NEW WORK AND FOR PROTECTING THE EXISTING STRUCTURE FROM DAMAGE DURING THE COURSE OF THE WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING SHORING, NEEDLES, BULKHEADS AND ANY OTHER ITEMS NECESSARY FOR THE PROTECTION AND STABILITY OF THE BUILDING. NO WORK THAT WILL JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE DONE WITHOUT CONSULTING THE STRUCTURAL ENGINEER OR ARCHITECT.
- 3. THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER OF THE PROPERTY SO DAMAGED.
- 4. THE CONTRACTORS SHALL EXAMINE THE DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS AND FAMILIARIZE THEMSELVES WITH THEIR PROVISIONS REGARDING THE REMOVAL OF EXISTING ITEMS AND WORK. THEY SHALL UNDERSTAND THAT ALL ITEMS AND WORK NOT SPECIFICALLY MENTIONED TO BE REMOVED BY THE REQUIREMENTS OF OTHER SECTIONS OF THE SPECIFICATIONS SHALL BE REMOVED AS PART OF THE WORK UNDER THIS SECTION.
- 5. CONTRACTOR SHALL REVIEW DEMOLITION DRAWINGS AND COORDINATE WITH ALL OTHER AVAILABLE DRAWINGS, INCLUDE ALL COPIES NECESSARY TO COMPLETE WORK. REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK IF ANY CONFLICTING INFORMATION IS PROVIDED.
- 6. THE CONTRACTOR SHALL DISPOSE ALL CONSTRUCTION WASTE IN A LAWFUL MANNER IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- 7. UPON DISCOVERY OF ANY MATERIALS DEEMED OR SUSPECTED TO BE HAZARDOUS, SUCH AS BUT NOT LIMITED TO ASBESTOS OR LEAD PAINT, MATERIAL SHALL BE LIMITED TO PRESENT CONDITION AND AN ENVIRONMENTAL ENGINEER'S REPRESENTATIVE CONTACTED.
- 8. THE CONTRACTOR SHALL DISCONNECT, REMOVE, STORE, REINSTATE AND RECONNECT ALL EQUIPMENT, TRIM, AND ACCESSORIES AS REQUIRED TO MAINTAIN ALL UTILITIES, ETC.
- 9. PATCH & REPAIR ALL EXISTING SURFACES DISTURBED BY DEMOLITION. REPAIRS ARE REQUIRED TO MATCH EXISTING FINISHES, WHERE APPLICABLE.
- 10. REPAIR SLAB TO VAPOR BARRIER AS REQUIRED TO MATCH EXISTING FINISHES.
- 11. FINISH FINISHES SHALL BE PREPARED SURFACE ON FRONT OF EXISTING WALLS AS REQUIRED TO INSTALL NEW FINISHES - SEE ADDITIONAL INFORMATION.
- 12. SHADY CONSTRUCTION INDICATES EXISTING CONSTRUCTION TO REMAIN.
- 13. ITEMS SCHEDULED FOR REMOVAL ARE INDICATED BY DASHED LINES.
- 14. LOCATION OF TRENCHES SHOWN FOR DIAGNOSTIC PURPOSES ONLY. CONTRACTOR SHALL COORDINATE WITH PHASING REQUIREMENTS AND VERIZON PROJECT MANAGER TO DETERMINE OPTIMAL LOCATION OF TRENCHES PRIOR TO CUTTING OF SLAB.
- 15. CUTTING AND TRENCHING DEMOLITION WORK IS LIMITED TO EXISTING CONCRETE SLAB FOR NEW ELECTRICAL CONDUITS AND PLUMBING. IDENTIFY PRECISE FLOOR BOX(S) LOCATION (S) AND DEPTH IN FIELD AS REQUIRED. CONTRACTOR SHALL CONFIRM THAT TRENCHING LOCATIONS SHOWN DO NOT CONFLICT WITH EXISTING BUILDING STRUCTURAL ELEMENTS SUCH AS FOUNDATIONS AND FOOTINGS. THESE ITEMS SHALL REMAIN UNTOUCHED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.
- 16. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO SAW CUT AND REMOVE EXISTING CONCRETE SLAB FOR TRENCHING AS REQUIRED FOR NEW ELECTRICAL CONDUITS AND FLOOR BOX(S) - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 17. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO SAW CUT AND REMOVE EXISTING CONCRETE SLAB FOR TRENCHING AS REQUIRED FOR NEW PLUMBING FIXTURES; CONTRACTOR TO IDENTIFY PRECISE LOCATION AND DEPTH IN FIELD AS REQUIRED. EXCAVATE ADDITIONAL TRENCH AS REQUIRED TO CONNECT NEW SOIL LINES TO EXISTING MAIN V.I.F. - SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- 18. ALL DEMOLITION AND EXPOSURE OF INTERIOR SURFACES TO THE EXTERIOR SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EXTERIOR DOORS OR ROOFTOP MECHANICAL EQUIPMENT HAVE BEEN REMOVED/REPLACED/ADDED.
- 19. REMOVAL AND CAPPING PER CODE BELOW SLAB OF ALL ABANDONED UTILITIES BACK TO THEIR SOURCE IF THEY WILL NOT BE USED BY TENANT - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 20. CONTRACTOR TO REMOVE ALL INTERIOR DISPLAYS, EQUIPMENT, FURNITURE AND CASEWORK IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO WALL CASES, SHELVES, CUSTOM CABINETS AND OTHER FURNITURE.

LEGEND THIS SHEET ONLY

- EXISTING WALL/DOOR/CASEWORK, ETC TO REMAIN.
- LOCATION OF NEW WALL TO BE CONSTRUCTED
- AREA OF EXISTING SLAB TO BE REMOVED.
- DEMOLITION ITEMS TO BE REMOVED.

KEYNOTES THIS SHEET ONLY

- EXISTING WALL/PARTITION TO REMAIN. EXISTING WALL TREATMENT TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES AND TO MAINTAIN EXISTING FIRE RESISTANCE, IF APPLICABLE - SEE DEMOLITION NOTES THIS SHEET FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING FLOOR FINISHES AND MAPEI. PREPARE AND READY CONCRETE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH PLAN FOR ADDITIONAL INFORMATION.
- CUT & REMOVE EXISTING SLAB AS REQUIRED FOR ELECTRICAL AND PLUMBING WORK - COORDINATE WITH ELECTRICAL AND PLUMBING DRAWINGS - SEE DETAIL 2/2.1.01 FOR SLAB CUT DETAIL.
- CONTROL POINT FOR POWER/DATA FEED TO FIXTURE. SEE ELECTRICAL FURNITURE, FIXTURE, & EQUIPMENT PLAN - SHEET 38.01 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTEND SLAB CUT UNDER WALL AS REQUIRED TO MAKE CONNECTIONS.
- LOCATION OF FUTURE INTERIOR PARTITION - SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- EXISTING ALUMINUM AND GLASS STOREFRONT SYSTEM TO BE REMOVED IN ITS ENTIRETY WITHIN LIMITS SHOWN BELOW EXISTING TRANSOM.
- EXISTING ALUMINUM AND GLASS STOREFRONT SYSTEM TO REMAIN.
- EXISTING DOOR, FRAME & ASSOCIATED HARDWARE TO BE REMOVED IN THEIR ENTIRETY. CONTRACTOR TO PATCH & REPAIR ADJACENT EXISTING CONSTRUCTION.
- EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY WITHIN LIMITS SHOWN. CONTRACTOR TO PATCH & REPAIR ADJACENT EXISTING CONSTRUCTION.
- EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND RELOCATED - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ELECTRICAL PANEL TO BE REMOVED IN ITS ENTIRETY - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WATER HEATER AND PLATFORM ABOVE TO BE REMOVED IN THEIR ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING MOP SINK TO BE REMOVED IN ITS ENTIRETY. PREPARE AND READY CONCRETE SLAB AS REQUIRED FOR NEW FINISHES - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WATER COOLER TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING PLUMBING STUB-OUTS FOR BE REMOVED IN THEIR ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- PARTIAL HEIGHT PARTITION TO BE REMOVED IN ITS ENTIRETY. PREPARE AND READY CONCRETE SLAB AS REQUIRED FOR NEW FINISHES. PATCH & REPAIR ADJACENT EXISTING CONSTRUCTION TO RECEIVE NEW FINISHES - SEE DEMOLITION NOTES THIS SHEET FOR ADDITIONAL INFORMATION.
- PARTIAL HEIGHT PARTITION TO BE REMOVED IN ITS ENTIRETY (TYP.). PREPARE AND READY CONCRETE SLAB AS REQUIRED FOR NEW FINISHES - SEE DEMOLITION NOTES THIS SHEET FOR ADDITIONAL INFORMATION.
- EXISTING COOLER TO BE REMOVED IN ITS ENTIRETY. PREPARE AND READY CONCRETE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH PLAN FOR ADDITIONAL INFORMATION.
- EXISTING FIRE ALARM DEVICES, FIRE PROTECTION EQUIPMENT AND/OR THERMOSTATS TO BE REMOVED IN THEIR ENTIRETY (WHERE APPLICABLE) - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING TOILET ROOM FIXTURES TO BE REMOVED IN THEIR ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING TOILET ROOM ACCESSORIES TO BE REMOVED IN THEIR ENTIRETY.
- EXISTING DOOR, FRAME & ASSOCIATED HARDWARE TO BE REMOVED IN THEIR ENTIRETY.
- EXISTING HAND SINK AND ACCESSORIES TO BE REMOVED IN THEIR ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING COMPARTMENT SINK TO BE REMOVED IN ITS ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING DISHWASHING STATION TO BE REMOVED IN ITS ENTIRETY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING FLOOR DRAIN TO BE REMOVED IN ITS ENTIRETY (TYP.) - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING I.T. EQUIPMENT TO BE REMOVED IN ITS ENTIRETY - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ELECTRICAL EQUIPMENT - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING DOOR TO BE MECHANICALLY SEALED AND DOOR HARDWARE TO BE REMOVED.
- EXISTING DOOR TO BE SECURED IN CLOSED POSITION AND DOOR HARDWARE TO BE REMOVED.
- EXISTING ELECTRICAL JUNCTION BOX AND ASSOCIATED CONDUIT TO BE REMOVED IN THEIR ENTIRETY - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- APPROXIMATE LOCATION OF PLUMBING. CUT & REMOVE EXISTING SLAB AS REQUIRED - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. SEE DETAIL 2/2.1.01 FOR SLAB CUT DETAIL.
- EXISTING FIRE ALARM PANEL TO BE REMOVED AND RELOCATED - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.



CONSTRUCTION NOTE: CONTRACTOR TO VERIFY SLAB CONSTRUCTION. IF STRUCTURED SLAB, CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK. PROVIDE X-RAY INVESTIGATION PRIOR TO CUTTING TO DETERMINE LOCATION OF STRUCTURAL AND OTHER ELEMENTS IN SLAB.

1 DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'

2 SLAB CUT DETAIL  
SCALE: 1-1/2" = 1'-0"

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