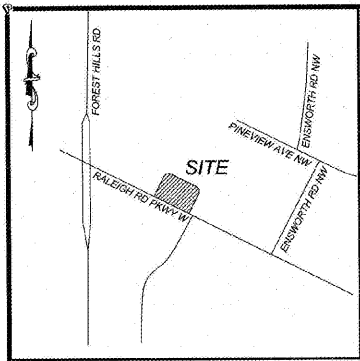


CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
C1	47.40'	30.00'	30.28'	42.62'	S 71°10'53" W 90°31'27"
C2	47.50'	30.00'	30.38'	42.69'	N 18°12'32" W 90°42'51"



CITY OF WILSON NOTES:

1. \$254 SITE INSPECTION FEE MUST BE PAID PRIOR TO C.O.
2. SIDEWALKS MUST BE CONSTRUCTED TO NCDOT STANDARDS.
3. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH CURRENT CITY OF WILSON STANDARDS, SPECIFICATIONS AND DETAILS.
4. SEPERATE BACKFLOW PREVENTER (BFP) WILL BE REQUIRED FOR EACH TENANT. COORDINATE WITH MARK SUMMERS AT (252) 205-1646.
5. *FUTURE RESTAURANT* TENANT WILL NEED SEPERATE SEWER SERVICE AND GREASE TRAP.
6. CONSTRUCTION INSPECTOR WILL INSPECT ALL PUBLIC WORKS REQUIREMENTS.
7. NO C.O. WILL BE ISSUED UNTIL ALL SITE REQUIREMENTS HAVE BEEN MET.
8. THERE MUST BE AT LEAST 3 FEET OF SUITABLE FILL BETWEEN THE EXISTING GAS MAIN AND THE PROPOSED SIDEWALK.
9. THE CONTRACTOR NEEDS TO SUPPLY THE GAS DIVISION WITH THE BTU'S PER APPLIANCE AND THE DELIVERY PRESSURE REQUIRED (AS WELL AS ANY ESTIMATED LOADS FOR THE PROPOSED PORTION OF THE BUILDING) PRIOR TO THE INSTALLATION OF THE GAS SERVICE SO THAT THE EXISTING GAS SERVICE SIZE CAN BE VERIFIED.
10. SHOULD THE GAS SERVICE NEED TO BE REPLACED, AT THE EXPENSE OF THE CUSTOMER, THE SERVICE REPLACEMENT WOULD BE COORDINATED THROUGH THE GAS DIVISION SUPERVISOR (BRYAN HOLLAND, bholland@wilsonnc.org, (252) 399-2433) PRIOR TO THE INSTALLATION OF THE SIDEWALK.

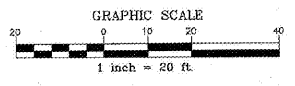
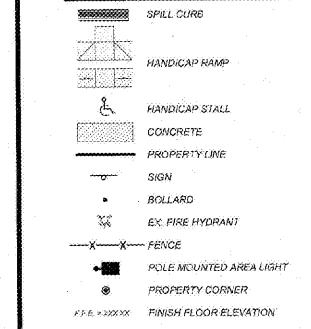
GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME ALL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT THE OWNER FOR EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, HYDRANTS, STREET LIGHTING, ETC. SHALL REMAIN UNOBTURBED, UNLESS OTHERWISE NOTED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERRECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADI DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CURBVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL OWN HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBER UTILITIES. THE CONTRACTOR SHALL CONTRACT "ONE CALL" AT 1-800-832-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

SITE KEYNOTES:

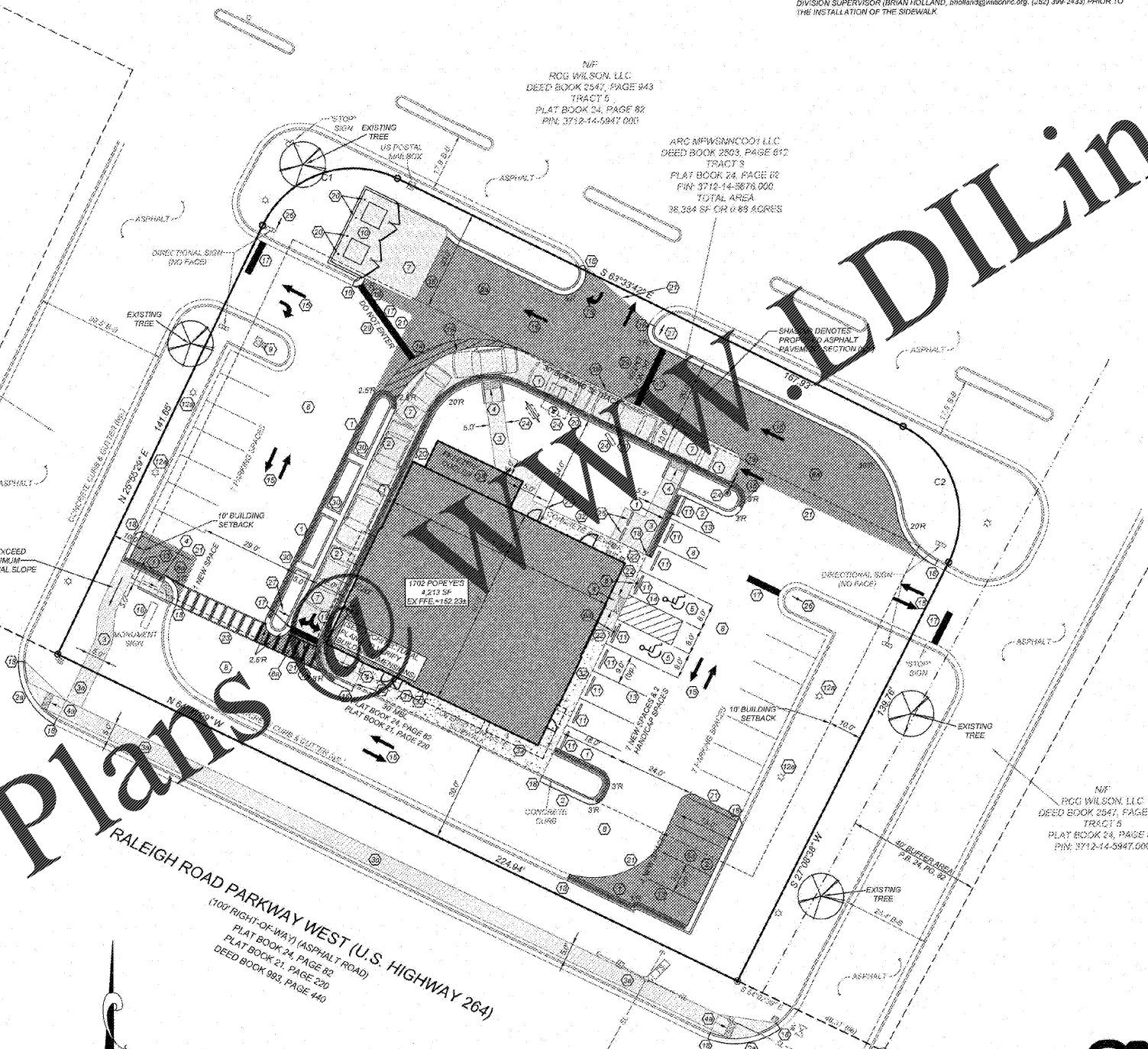
1. CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
2. CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
3. CONSTRUCT CONCRETE CURB AND GUTTER PER NCDOT STANDARDS TO MATCH EXISTING
4. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
5. CONSTRUCT CONCRETE SIDEWALK PER NCDOT STANDARDS
6. CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
7. CONSTRUCT CONCRETE HANDICAP RAMP PER NCDOT STANDARDS
8. HANDICAP PARKING STALL
9. INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
10. INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
11. CONCRETE PAVEMENT PER DETAIL SHEET
12. RESURFACE AND RESTRIPE EXISTING ASPHALT PAVEMENT
13. PROPOSED ASPHALT PAVEMENT PER DETAIL SHEET
14. EXISTING TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECS. (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
15. CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE AND TRASH ENCLOSURE WITH GATES. SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
16. CONCRETE WHEEL STOP PER DETAIL SHEET
17. POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
18. EXISTING POLE MOUNTED AREA LIGHT TO REMAIN
19. PAINT 4" WIDE STRIPE, WHITE
20. PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
21. PAINT TRAFFIC ARROWS PER DETAIL SHEET
22. SITE IDENTIFICATION SIGN, COORDINATE WITH OWNER AND CITY
23. PAINT 74" STOP BAR PER DOT STANDARDS
24. MATCH EXISTING CURB & GUTTER
25. ASPHALT/CONCRETE TRANSITION PER DETAIL
26. INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
27. MATCH EXISTING ASPHALT PAVEMENT
28. MATCH EXISTING CONCRETE SIDEWALK
29. PAINT CROSSWALK PER DETAIL SHEET
30. INSTALL CLEARANCE POST, MENU BOARD, SPEAKER POSTS, CANOPY AND PREVIEW BOARD PER ARCHITECT'S PLANS
31. INSTALL (2) BICYCLE RACKS. COORDINATE WITH OWNER AND MANUFACTURER
32. INSTALL "STOP" SIGN PER MUTCD STANDARDS
33. INSTALL "STOP" AND "DO NOT ENTER" SIGN PER MUTCD STANDARDS
34. COORDINATE NEW COOLER ADDITION WITH ARCHITECTURAL PLANS
35. PAINT "DO NOT ENTER" PER MUTCD AND DOT STANDARDS
36. CONCRETE FLUME PER DETAIL SHEET
37. PROVIDE KNOX BOX PER CITY STANDARDS, COORDINATE WITH CITY
38. FIELD VERIFY EXISTING CONCRETE SIDEWALK MEETS ALL ADA REQUIREMENTS FOR SLOPE (2% MAX. CROSS-SLOPE, 0.01 MAX. LONGITUDINAL SLOPE) AND CLEARANCE (48" MIN. WIDTH ALONG ACCESSIBLE ROUTE, 5' X 8' LEVEL PAD AT ALL TURNS, LANDINGS, TOPS AND BOTTOMS OF ALL RAMPS). REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO ACHIEVE COMPLIANCE

SITE LEGEND

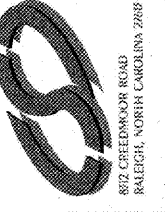


Order Plans

RALEIGH ROAD PARKWAY WEST (U.S. HIGHWAY 264)



COMMERCIAL SITE DESIGN



CLIENT:
WILSON RESTAURANT GROUP
7408 SIEMENS ROAD
WENDELL, NORTH CAROLINA 27997

PROJECT:
POPEYES
1702 RALEIGH ROAD PARKWAY WEST
WILSON, NORTH CAROLINA



REVISIONS:

DATE	COMMENTS
11-12-19	CITY COMMENTS
12-06-19	CITY COMMENTS #2
05-12-20	BUILDING FOOTPRINT

PROJECT NO: POP-1904
FILENAME: POP1904-SP
DRAWN BY: DDH
SCALE: 1" = 20'
DATE: 10-02-2019
SHEET NO: C-3



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949

