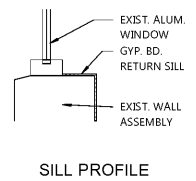


MILWORK NOTES

ALL MILWORK SHOWN HATCHED IS NOT IN CONTRACT & IS TO BE PART OF SEPARATE PACKAGE PROVIDED BY OWNERS MILLWORK VENDOR. G.C. SHALL BE RESPONSIBLE FOR COORDINATING DELIVERY OF MILLWORK AND PROVIDING AND INSTALLING ALL REQUIRED UTILITIES FOR A COMPLETE WORKING SYSTEM UNLESS NOTED OTHERWISE, TYP.

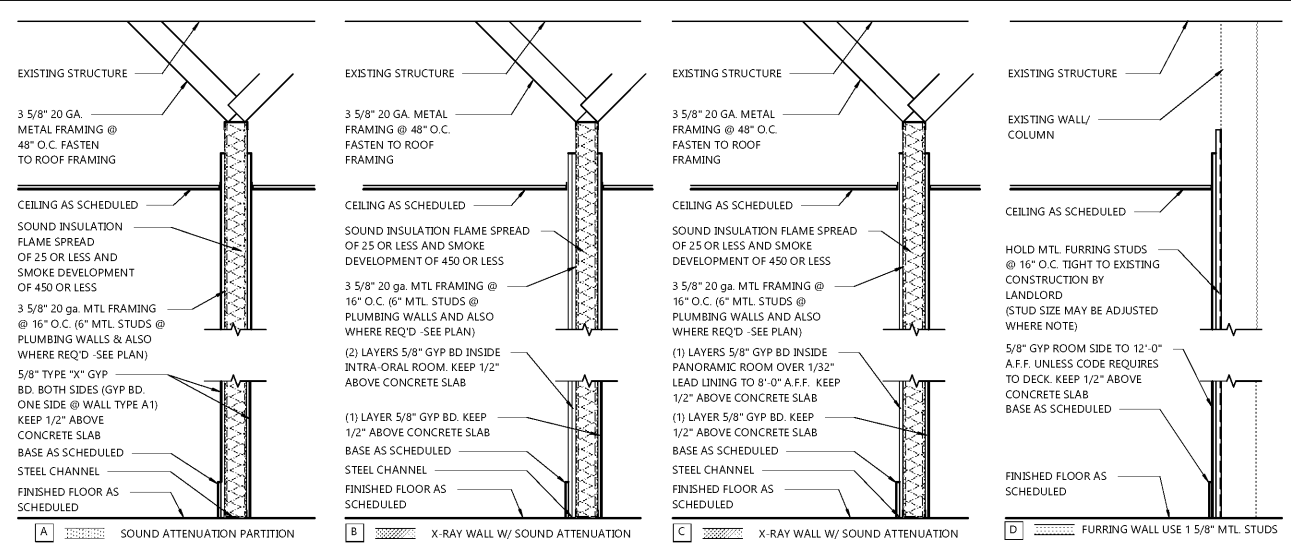


SILL PROFILE

FLOOR PLAN KEYNOTES

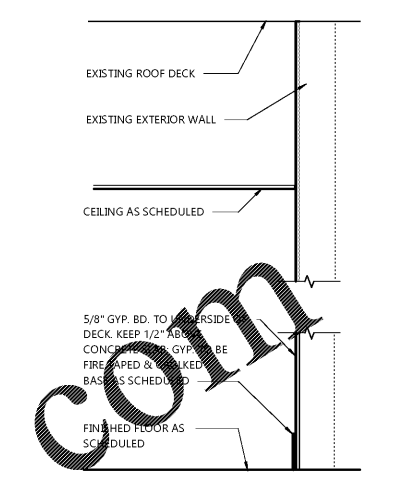
- 1 WALL MOUNTED LCD TV G.C. TO PROVIDE APPROPRIATE BLK'G AT 72" A.F.F. TV SHALL NOT PROTRUDE INTO SPACE MORE THAN 4" MAX.
- 2 LOCKERS
- 3 SHELVING BY MILLWORK VENDOR
- 4 SOFFIT ABOVE - REFER TO SHEET **A7.1**
- 5 ALUMINUM FRAMED TRANSOM LIGHT ABOVE. SEE AL-3 ON SHEET **A3.0** AND ADDITIONAL INFO
- 6 ALUMINUM FRAMED TRANSOM LIGHT ABOVE. SEE AL-2 ON SHEET **A3.0** AND ADDITIONAL INFO
- 7 FILING CABINETS
- 8 8' SHELVES
- 9 WALL MOUNTED LCD TV G.C. TO PROVIDE APPROPRIATE BLK'G AT 60" A.F.F. TV SHALL NOT PROTRUDE INTO SPACE MORE THAN 4" MAX.
- 10 ARTICULATOR RACK
- 11 PLASTER CART
- 12 PHONE CABINET
- 13 ELECTRICAL PANEL
- 14 PHONE BOARD
- 15 BOTTLE FILLING STATION
- 16 REFRIGERATOR BY OTHERS
- 17 EQUIPMENT BY OTHERS
- 18 (4) FIRE EXTINGUISHER BY TENANT - SEE DETAIL **7/A5.1**
- 19 EXISTING EXTERIOR BUILDING SHELL WALL TYP.
- 20 PLUMB. CONTRACTOR TO COORDINATE CLEARANCES REQ'D FOR ADMIN SUPPLIED EQUIPMENT PRIOR TO INSTALLING WATER HEATER / MOP SINK
- 21 WATER DISTILLER
- 22 TENANT'S CONTRACTOR TO COORDINATE ALL EQUIPMENT BLOCKING & UTILITIES PRIOR TO INSTALLING 5/8" GYP. BD. - GYP. BD. TO BE TAPE AND SANDED TO ACCEPT TENANT'S WALL FINISHES
- 23 PROVIDE GYP. BD. RETURN TO FRAME. PROVIDE VINYL J TRIM & SEALANT (TYP.)
- 24 EXISTING TENANT DEMISING WALL. CONTRACTOR TO VERIFY WALL RATING WITH SHELL DOCUMENTS AND PROVIDE CORRECT FIRE TREATED BLOCKING & FIRE CAULK AT ALL PENETRATIONS TO MAINTAIN RATING AS REQ'D. CONTRACTOR TO INSTALL 1 LAYER 5/8" GYP. BD. ON TENANT SIDE. GYP. BD. TO BE TAPED AND SANDED TO ACCEPT TENANT'S WALL FINISHES.
- 25 SAWCUT AND REMOVE EXISTING FLOOR SLAB & REPLACE AS REQ'D (IF APPLICABLE) FOR UTILITY BOXES G.C. TO COORDINATE - SEE DETAILS **5/MD** & **7/MD**
- 26 TENANT'S G.C. TO PROVIDE AND INSTALL MASTER LOCK 5401D WALL-MOUNTED KEY STORAGE BOX ON EXTERIOR OF BUILDING AT 48" TO CENTER. PLACE AT RIGHT OF LEFT OF DOOR (PREFERRED LOCATION TO BE ON LATCH SIDE OF DOOR)
- 27 DASHED LINE INDICATES WALLS TO RECEIVE 1/32" LEAD LINING & (1) LAYER OF GYP. BD. SHIELDING SHALL EXTEND FROM FINISHED FLOOR TO 8'-0" A.F.F.
- 28 SEE AL-1 ALUMINUM ELEVATION ON SHEET **A3.0** FOR ADDITIONAL INFO
- 29 SEE AL-4 ALUMINUM ELEVATION ON SHEET **A3.0** FOR ADDITIONAL INFO
- 30 50-SWHP-W WATER HEATER WALL HUNG SHELF. SEE DETAIL **6/A5.2** FOR BACKING. - SEE PLUMBING FOR MORE INFORMATION
- 31 CHAIR LIFT RAIL W/ POSTS AT EACH END - SEE SHEETS **A7.1** AND **A7.2** FOR MORE INFORMATION
- 32 GYP. BOARD BY TENANT - GYP. TO EXTEND TO DECK AT PERIMETER WALLS. SEE DETAIL **1/A1.1**
- 33 INSTALL FRP (FIBER REINFORCED PLASTIC) BEHIND THE SINK AND PLASTER AREA FROM FLOOR TO CEILING.
- 34 G.C. TO VERIFY REAR DOOR HARDWARE HAS ADAMS RITE 4590 LATCH PADDLE DEVICE & TO PROVIDE IF IT DOES NOT.
- 35 ALL FLOOR DRAINS BOXED OUT 3'X3' & POURED BACK AFTER SLAB SO PROPER SLOPE IN FLOOR IS ESTABLISHED. SEE PLUMBING FOR MORE INFORMATION.
- 36 GC TO VERIFY IF A KNOX BOX IS EXISTING. IF NOT, LANDLORD IS TO PROVIDE AND COORDINATE LOCATION WITH FIRE MARSHAL.
- 37 BLACK SPANDREL GLAZING TO 7'-0" A.F.F. BY LANDLORD
- 38 INFILL WINDOW OPENING WITH STUD FRAMING, BATT INSULATION, & GYP. BD. TO 7'-0" A.F.F. AS REQ'D TO MATCH ADJACENT WALLS
- 39 HOLD STUD FRAMING TIGHT TO ROOF LEADER(S) AS POSSIBLE
- 40 GC TO VERIFY LANDLORD INSULATED PIPES & TO PROVIDE IF THEY ARE NOT
- 41 6' SHELVING
- 42 40" A.F.F. CPU STAND UP STATION

PARTITION TYPES

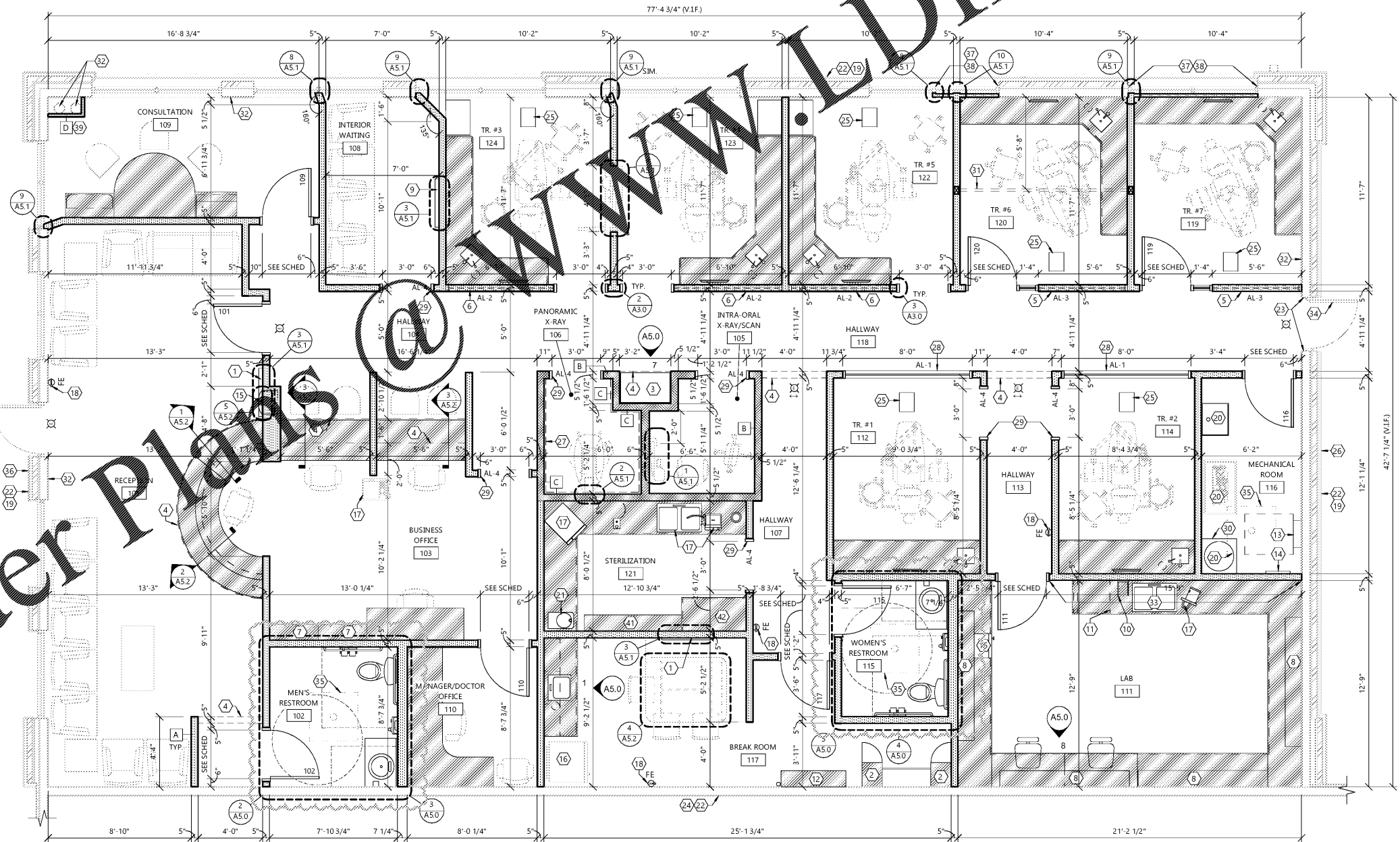


NOTES:
WALL THICKNESS SHOWN AS NOMINAL
5" = 4 7/8"; 5 1/2" = 5 1/2"; 6 1/2" = 6 5/8";
7 1/4" = 7 1/4"; 8" = 7 7/8"; 1'-0" = 11 7/8"
- ALL METAL STUD FRAMING SHALL BE 20 ga. UNLESS NOTED OTHERWISE

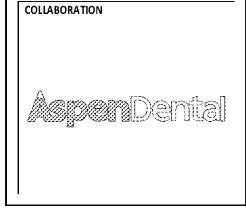
B.O. STRUCTURE HEIGHT:
APPROX. 14'-0" A.F.F.
B.O. DECK HEIGHT:
HIGH SIDE APPROX. 18'-8" A.F.F.
LOW SIDE APPROX. 17'-8" A.F.F.
JOIST SPACING:
WOOD - APPROX. 2'-0" O.C.
NOTE:
INFORMATION BASED LANDLORD PROVIDED SHELL PLANS. GC TO VERIFY ALL CONDITIONS IN FIELD.



GYP. @ PERIMETER WALLS
NOT TO SCALE



Order Plans @ WWW.DIline.com



PROJECT INFORMATION

TENANT BUILD-OUT FOR:
ASPEN DENTAL
~12150 FRONTAGE ROAD • MURRELLS INLET, SC 29576

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE	MAR. 16, 2020
REVISIONS	
CB2	APR. 20, 2020

JOB NUMBER

1860160

SHEET NUMBER

A1.1