

MADISON BOULEVARD
175' R.O.W.

J.E. BRISCOE WAY
60' R.O.W.

Order Plans @ www.dlinc.com

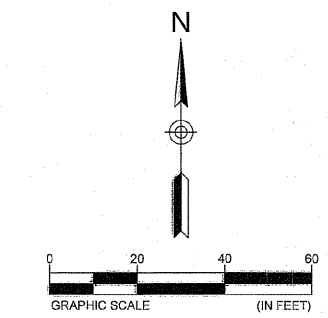
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SITE LAYOUT KEYNOTES

CODE	DESCRIPTION
S1a	ASPHALT PAVEMENT - LIGHT DUTY
S1b	ASPHALT PAVEMENT - HEAVY DUTY
S2	CONCRETE PAVEMENT
S3a	CONCRETE CURB & GUTTER
S3c	MATCH EX. CONCRETE CURB AND GUTTER WITH NEW CONCRETE CURB & GUTTER
S4a	CONCRETE SIDEWALK
S5	SIDEWALK JOINTS
S6	ACCESSIBLE SYMBOL
S7	ACCESSIBLE PARKING SPACE
S8	ACCESSIBLE RAMP
S8d	ACCESSIBLE RAMP "D"
S9	TACTILE WARNING SURFACE
S10	CONCRETE WHEELSTOP
S11	4" BLUE DIRECTIONAL STRIPING ON PAVEMENT
S14	BOLLARD
S15	ELECTRICAL TRANSFORMER PAD
S16	CONCRETE DUMPSTER PAD
S17	DUMPSTER ENCLOSURE/STORAGE ROOM
S18	DIRECTIONAL ARROWS
S21	4" WHITE PAVEMENT STRIPES
SG1a	ACCESSIBLE PARKING SIGN (R7-8)
SG1b	VAN ACCESSIBLE PARKING SIGN (R7-8P); ACCESSIBLE PARKING SIGN (R7-8)
SG2	BOJANGLES' MONUMENT SIGN W/READER BOARD
SG3	BOJANGLES' MENU BOARD
SG4	DO NOT ENTER SIGN (R5-1)
SG5	24"x24" "STOP SIGN" (R1-1)
SG6	24" X 24" "STOP SIGN" (R1-1) WITH 24"x30" "RIGHT TURN ONLY" SIGN (R3-5R)
SG7	24"x30" "RIGHT TURN ONLY" SIGN (R3-5R)

PROPOSED FEATURES LEGEND

BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]



GENERAL NOTES

- THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE POINTS.
- CONTRACTOR SHALL ENSURE THAT THE DOORWAY THRESHOLDS MEET ADA REQUIREMENTS.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RETURN RAMP SHALL BE 5' AT FACE OF CURB AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
- ALL PARKING SPACES, UNLESS OTHERWISE NOTED OR ADA SPACES, SHALL BE 10' WIDE AND 20' DEEP (TO FACE OF CURB) AS MEASURED AT ITS MINIMUM DIMENSION. ADA SPACES SHALL HAVE A 8' WIDE STRIPPED ACCESS AREA FOR VAN ACCESSIBLE SPACE OR A 5' WIDE STRIPPED ACCESS AREA FOR CAR ACCESSIBLE SPACE. ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND POST AND HANDICAP SYMBOL PAINTED ON THE ASPHALT. A PRECAST CONCRETE PARKING BLOCK IS REQUIRED IN EACH PARKING SPACE. VAN ACCESSIBLE SPACES ARE NOTED ON THIS PLAN.
- ALL PAVEMENT MARKINGS AND STRIPPING ARE TO BE WHITE, EXCEPT ADA PAVEMENT MARKINGS AND STRIPPING WHICH SHALL BE BLUE.
- PROVIDE EXPANSION JOINTS AT ALL RADIUS POINTS IN CONCRETE CURB AND GUTTER AND AS SHOWN ON THE DETAILS OR AS DIRECTED BY THE OWNER'S ENGINEER. CONCRETE SIDEWALK SHALL BE OF THE WIDTH AS INDICATED ON THE PLANS AND 4" THICK UNLESS OTHERWISE NOTED. SIDEWALK RAMP AND SIDEWALK ALONG ACCESSIBLE PARKING SPACES SHALL BE 6" THICK. CROSS SLOPES SHALL BE AT 1:50 MAXIMUM. INSTALL 3/4" PJF EXPANSION JOINTS AT THE SIDEWALK-CURB JOINT AND AT MAXIMUM 50 FOOT CENTERS. SCORE JOINTS ARE TO BE HAND TOoled AT 1/2" NOMINAL DEPTH AND AS SHOWN ON ARCHITECTURAL SITE PLAN.
- ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
- THE PROPOSED BUILDING SHALL BE LAID OUT UTILIZING THE EXISTING STRUCTURE AS A CONTROL POINT AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR SHALL COLD PLANE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY AND STATE DOT REGULATIONS AND SPECIFICATIONS.
- ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- ALL TRAFFIC CONTROL DEVICES SHALL BE ERECTED AND MAINTAINED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY REVISION THEREOF.
- SETBACKS ARE GOVERNED BY THE LATEST ADDITIONS OF THE MADISON ZONING ORDINANCE.

FINAL FOR DEVELOPMENT
MAY 14 2020



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NO.	DATE	DESCRIPTION	BY	CHK	APP
2	4-27-2020	CITY'S FINAL TECHNICAL REVIEW	BW	BW	APV
1	4-7-2020	CITY'S TECHNICAL REVIEW	BW	BW	BY

LAYOUT PLAN

CONSTRUCTION DOCUMENTS
BOJANGLES - J.E. BRISCOE WAY & MADISON BLVD.
MADISON, MADISON COUNTY, ALABAMA

PROJECT NUMBER
518220002

DRAWING NUMBER
C3.0

DRAWING PATH: C:\projects\2020\5182-20-002_NGF_Bojangles-Madison\Bldg\CAD\Construction\518220002_LAY.dwg