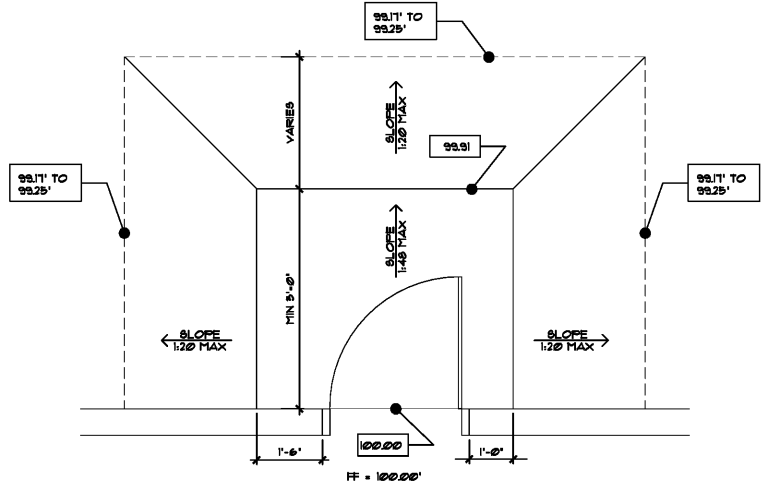
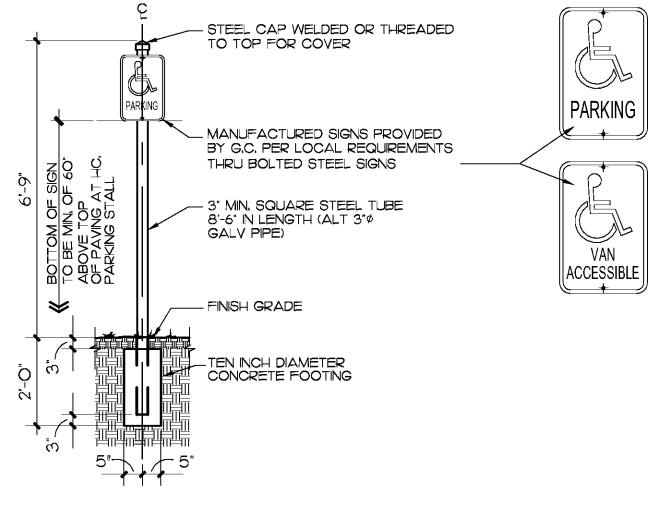


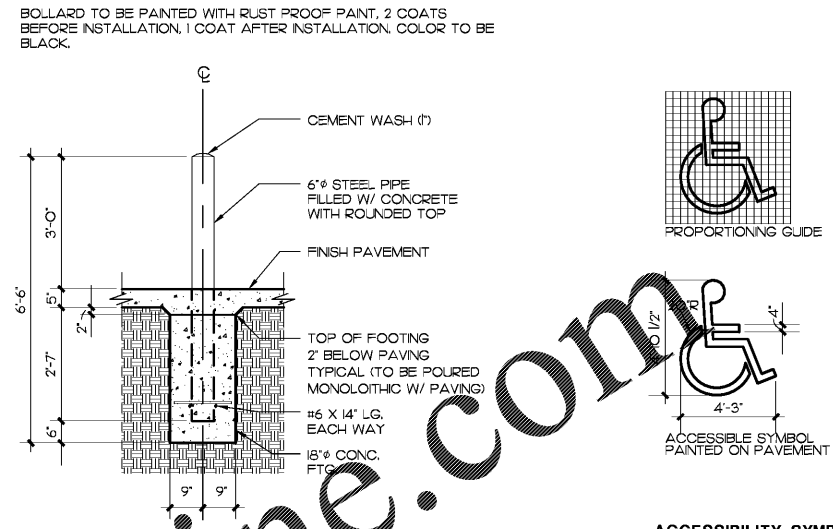
NOTE:
 1. REF. CIVIL FOR SITE PAVEMENT ELEV. PRIOR TO BEGINNING WARP UP TO DOOR.
 2. PAVING TO WARP UP WITHOUT BEARS TO ACHIEVE REQUIRED SLOPES.



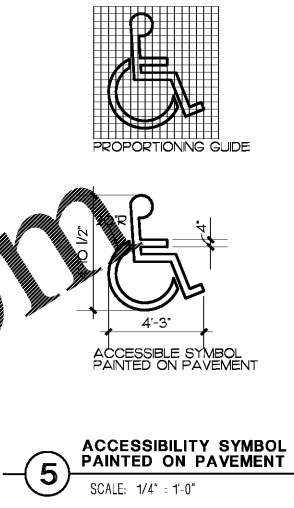
8 LANDING AT MAN DOOR DETAIL
 SCALE: 1/2" = 1'-0"



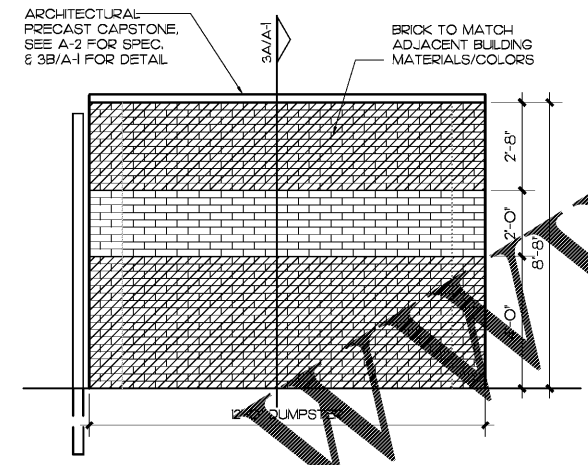
7 ACCESSIBLE PARKING SIGN
 SCALE: 1/2" = 1'-0"



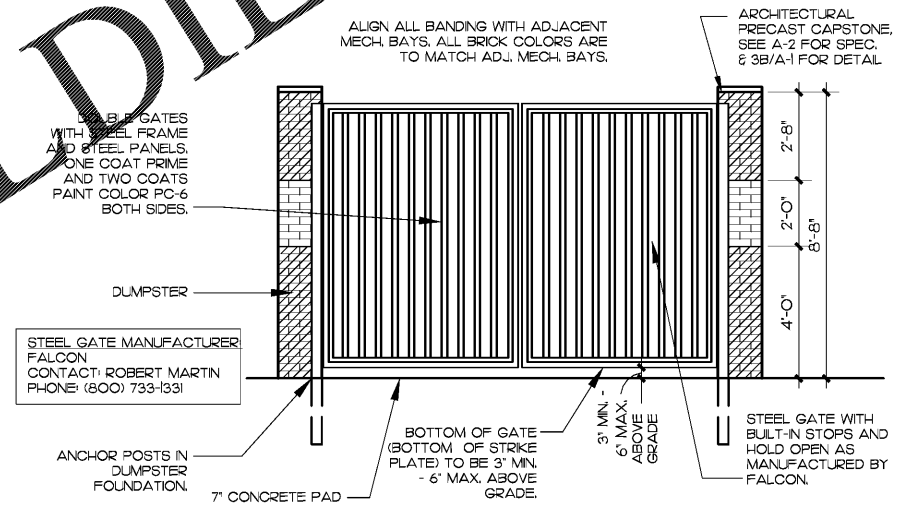
6 STEEL PIPE BOLLARD
 SCALE: 1/2" = 1'-0"



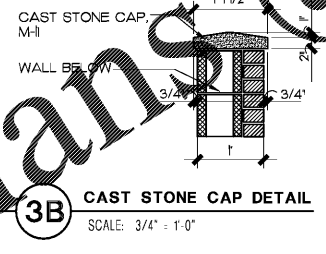
5 ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT
 SCALE: 1/4" = 1'-0"



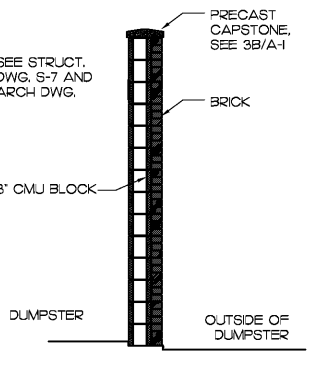
4B DUMPSTER ENCLOSURE ELEVATION
 SCALE: 3/8" = 1'-0"



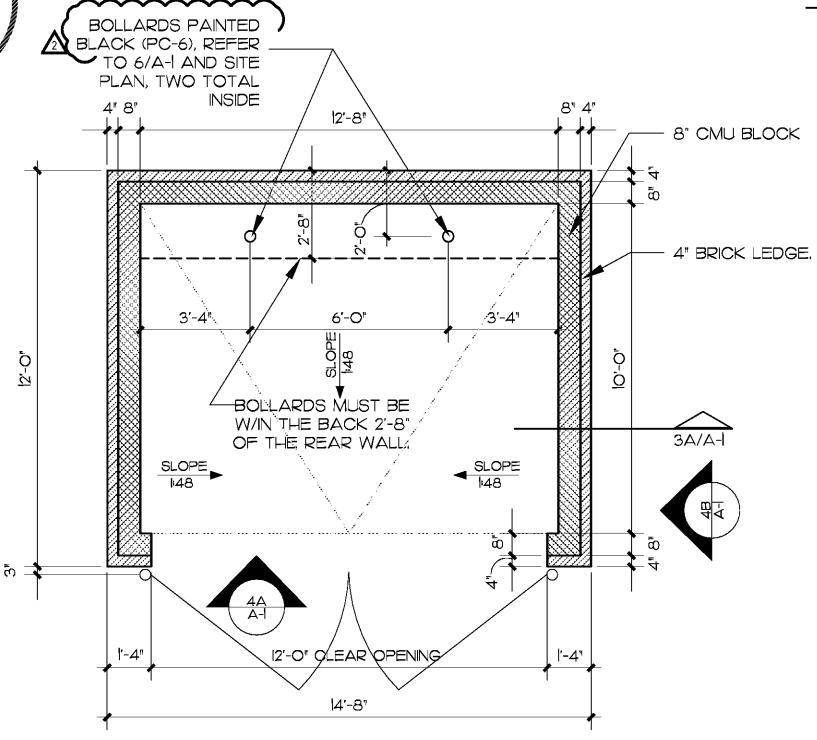
4A DUMPSTER ENCLOSURE ELEVATION
 SCALE: 3/8" = 1'-0"



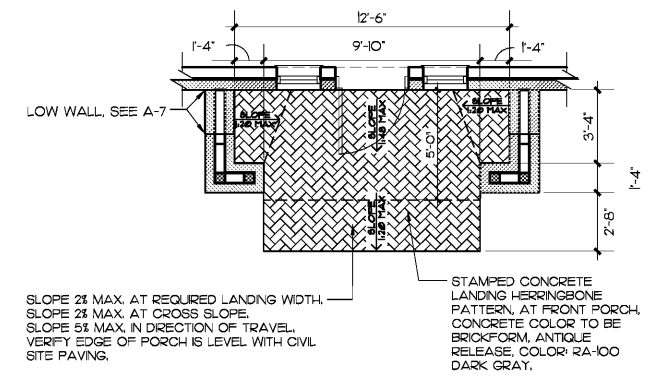
3B CAST STONE CAP DETAIL
 SCALE: 3/4" = 1'-0"



3A DUMPSTER ENCLOSURE WALL SECTION
 SCALE: 3/8" = 1'-0"



2 DUMPSTER ENCLOSURE PLAN
 SCALE: 3/8" = 1'-0"



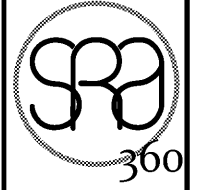
1 PORCH DETAIL
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. BASE INFORMATION WAS TAKEN FROM PROPERTY DESCRIPTION PLANS ON THIS PAGE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ALIGN WITH EXISTING FEATURES.
2. SMOOTH TRANSITION IS REQUIRED BETWEEN ALL EXISTING AND NEW PAVEMENTS.
3. ROADWAY AND ACCESS CLEARANCES ARE SHOWN TO FACE OF CURB AND END OF PARKING SPACES. ALL PARKING SPACES ARE 9'-0" X 18'-0".
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE IN COMPLIANCE WITH LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. THE LIGHTING ON THE SITE SHALL COMPLY WITH THE LOCAL ZONING ORDINANCE AND STATE ENERGY CODE AS REQUIRED.
6. THE DUMPSTER IS TO BE ENCLOSED WITH MASONRY WALLS TO MATCH THE BUILDING EXTERIOR. THE ENCLOSURE GATES SHALL BE OPAQUE AND CONSTRUCTED OF PAINTED STEEL FRAME AND STEEL PANELS. SEE A-4 FOR MORE INFORMATION ON BUILDING EXTERIOR. SEE DETAIL 5 ON THIS SHEET FOR DUMPSTER INFO.
7. ALL OFF SITE EASEMENTS MUST BE FILED PRIOR TO START OF CONSTRUCTION.
8. IRRIGATION SYSTEM SHALL BE PROVIDED AND INCLUDED IN THE BASE BID. THE REQUIRED AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL HAVE SEPARATE ZONES FOR LAWN AND PLANT BEDDING AREAS. LAYOUT PER THE MANUFACTURER'S RECOMMENDATIONS WITH OWNER APPROVAL REQUIRED.

DRIVEWAY CURB AND PAVING NOTES

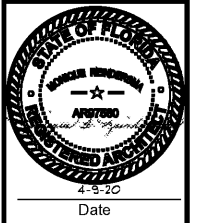
1. CIVIL ENGINEERING DRAWING SUPERSEDES INFORMATION ON THIS DRAWING. NOTIFY OWNER OF ALL DISCREPANCIES.
2. SIDEWALK, DRIVEWAY, CURB, AND LINE AND GRADE SHALL BE SET BY CIVIL ENGINEER.
3. SIDEWALKS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
4. DRIVEWAYS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
5. CURB AND GUTTER SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
6. PROVIDE 1/2" EXPANSION MATERIAL AT INTERVALS OF 20'-0" (MAXIMUM) THROUGHOUT ENTIRE LENGTH OF SIDEWALK.
7. PROVIDE 1/2" EXPANSION MATERIAL BETWEEN WHERE SIDEWALKS ABUT TO A FIRE HYDRANT OR UTILITY POLE.
8. IN THE EVENT THAT MORE THAN ONE DRIVEWAY IS CONSTRUCTED FOR ACCESSING THE PROPERTY FROM THE SAME STREET APPROACH, MAINTAIN MINIMUM SEPARATION BETWEEN DRIVES AS REQUIRED BY LOCAL ZONING ORDINANCE, TRAFFIC AND TRANSPORTATION REGULATIONS, AND/OR BUILDING CODE.
9. SURFACE BETWEEN DRIVEWAYS, FROM TOP OF CURB TO SIDEWALK AND FROM SIDEWALK TO PROPERTY LINE MAY BE EITHER CONCRETE OR DRT, OR AS REQUIRED BY ORDINANCE AND CODES AS MADE REFERENCE TO IN #8 ABOVE.



STEWART - REINHERM
 ARCHITECTURE, PLLC
 5450 E. High Street, Suite 200
 Phoenix, Arizona 85054
 P: 480.515.5123
 www.sra360.com

Christian Brothers
 Automotive
 Wickham Road
 Melbourne, Florida

Christian Brothers
 Automotive
 17725 Katy Freeway, St. 200
 Houston, TX 77094



Revisions

1/23/20 - Prototype Update
4/1/20 - City Comments
4/9/20 - T2 Client Rev.

Project No. 19-097
 Drawn By:
 Date: 03/06/20
 Sheet Title:

SITE DETAILS
 Drawing No.
A-1
 10RHS-11-2019