

**Order Plans @**



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Dial 811  
Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & NEW GROUNDING FROM OBSERVATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS' RECORDS SHOWN & FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

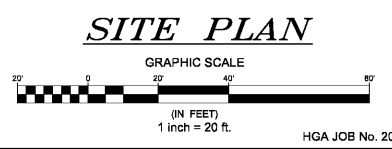
SEE LANDSCAPE AND HARDSCAPE PLANS FOR EXACT SIDEWALK LAYOUT, LANDSCAPE PLAN, DISPOSITION OF CONCRETE SIDEWALK OR OTHER SURFACE TREATMENT, LANDSCAPE AREAS, AND GRASSED AREAS.

- SITE PLAN NOTES:**
1. ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB, EDGE OF ASPHALT, AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED. ALL RADII DIMENSION ADJACENT TO PARKING SPACES ARE 3' UNLESS OTHERWISE NOTED.
  2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
  3. UNLESS OTHERWISE NOTED, ALL PAVEMENT IS TO BE STANDARD DUTY ASPHALT.
  4. TYPICAL PAVEMENT SECTION FOR THE NEW PAVEMENTS ARE INCLUDED IN THE CONSTRUCTION DETAIL SHEETS.
  5. ALL CONSTRUCTION TO CONFORM TO GULMER COUNTY STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
  6. ALL PAVEMENT WARNINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS. ANY BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD NOT BE USED TO LAYOUT THE BUILDING OR ITS APPURTENANCES (STAIRS, DOORS, DOCKS ETC.)

**LEGEND**

EXISTING EDGE OF PAVEMENT	---
EXISTING CURB & GUTTER	----
EXISTING BUILDING	▭
SETBACK/LS STRIP LINE	----
PROPOSED CURB & GUTTER	----
PROPERTY LINES	----
PROPOSED CROSSWALK	▬▬▬▬
PROPOSED SIGNAGE	▭
PROPOSED SIGNAGE SYMBOLS	▭
PROPOSED HANDICAP RAMPS	▭
PROPOSED R.O.W. PAVING	▭
PROPOSED LIGHT DUTY ASPHALT	▭



**RUSSOM ELEMENTARY SCHOOL ADDITION**  
44 RUSSOM ELEMENTARY SCHOOL LANE  
DALLAS, GA 30132  
(FACILITY CODE: 710-0204)

**SITE PLAN**

Date: 03/06/2020  
Project Number: 19117

**C1.0**

**BXA**  
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**HGA**  
HAINES GIPSON & ASSOCIATES  
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