

VICINITY MAP

TAX # 205-092-11 DB 3199 PG 37
 GEORGIA INDUSTRIAL REALTY COMPANY
 110 FRANKLIN ROAD SE
 ROSWELL, GA 30059
 LAND USE: INDUSTRIAL

SOUTHERN RAILWAY - 130' R/W
 SEE NC DOT PLANS FOR PROJECT 4.49006 RECORDED
 IN STATE HWY BOOK 2 PAGES 403 AND 404.

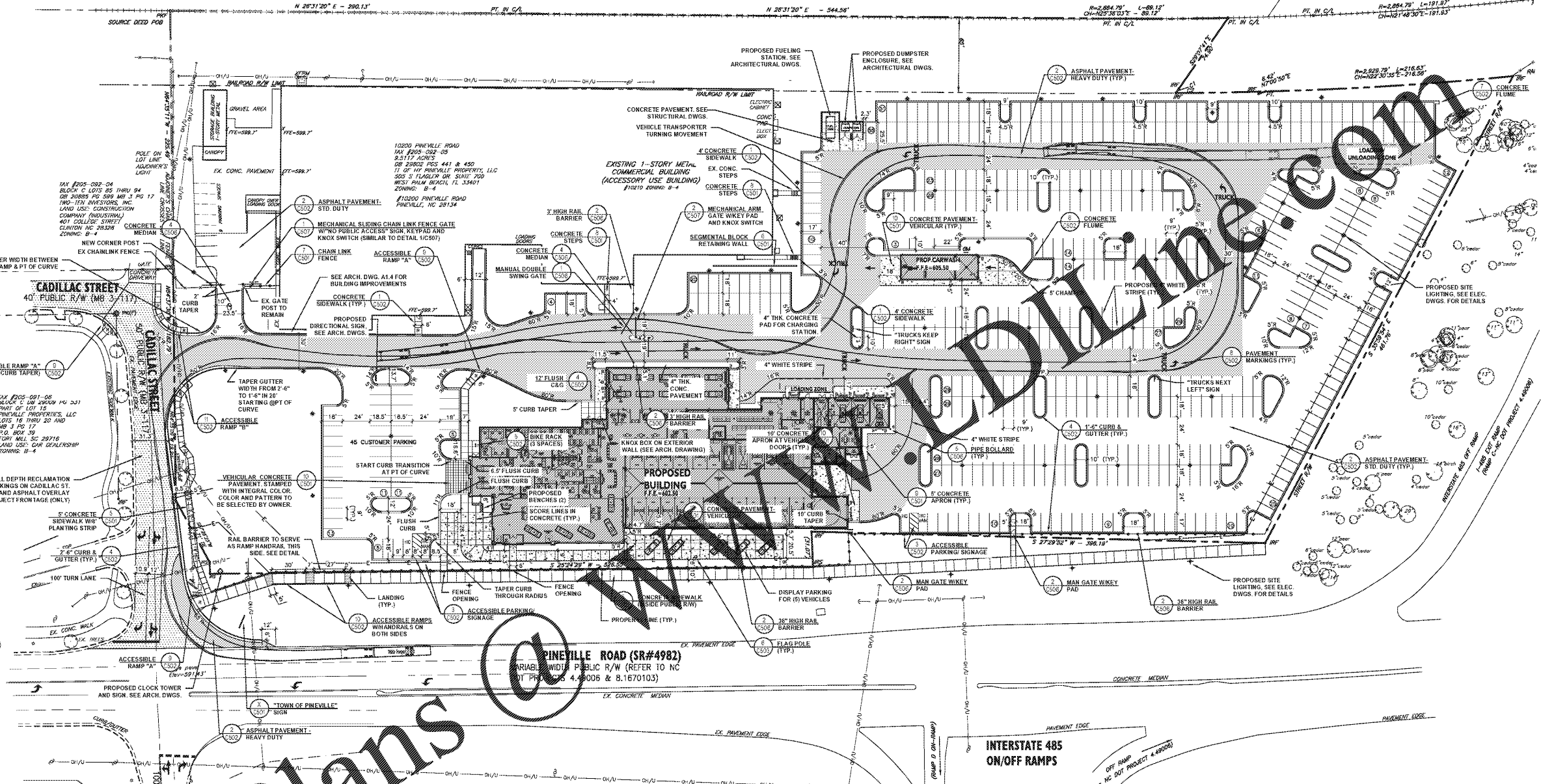
benesch
 Alfred Benesch & Company
 2359 Perimeter Pointe Parkway, Suite 300
 Atlanta, Georgia 30328
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 : 704.521.9880

Seals



Corp. NC License: F-1320

Hyundai of South Charlotte
 10518 Cadillac Street
 Pineville, North Carolina



BMP #1 BUA SUMMARY CHART

BMP DRAINAGE AREA	213,546 SF
ROADS & PARKING	95,321 SF
CURB & GUTTER	4,486 SF
SIDEWALK/CONCRETE PADS	5,229 SF
BUILDINGS	475,971 SF*
FUTURE	N/A
TOTAL BUA to BMP	154.87% / 194,688 SF

BMP #2 BUA SUMMARY CHART

BMP DRAINAGE AREA	114,613 SF
ROADS & PARKING	94,800 SF
CURB & GUTTER	1,100 SF
SIDEWALK/CONCRETE PADS	5,634 SF
BUILDINGS	N/A
FUTURE	N/A
TOTAL MAX BMP BUA	91.34% / 194,688 SF

* NOTE THAT A BUA AS-BUILT SHALL BE PROVIDED BY THE GENERAL CONTRACTOR PRIOR TO THE ISSUANCE OF BMP AS-BUILT APPROVAL.
 ** NOTE: TOTAL MAX BMP BUA DOES NOT INCLUDE UNDETAINED BUA (PHYSICALLY DETAINED FOR WQ) BUT BMP IS DESIGNED TO COMPENSATE FOR UNDETAINED AREAS.

- NOTES**
- COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 - IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - PRIOR TO BEGINNING CONSTRUCTION, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS (BOTH SITE AND BUILDING RELATED) INCLUDING BUT NOT LIMITED TO REGULATORY FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
 - USE CAUTION WHEN REPRODUCING COPIES OF THE CONSTRUCTION DRAWINGS. COPIES ARE SUBJECT TO DISTORTION AND INACCURACY IN THE SCALE OF DRAWINGS. VERIFY ANY DISCREPANCIES WITH SITE SOLUTIONS.
 - ALL SIGN, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AS AMENDED.
 - ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS

- SHOWN ON THE PLANS**
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO BE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 - THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
 - SITE INSPECTOR MAY REQUIRE ADDITIONAL VEGETATION TO SCREEN PARKING IF UPON SITE VISIT IT IS DETERMINED THAT EXISTING VEGETATION AND TOPOGRAPHY DO NOT ADEQUATELY SCREEN PARKING.
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - STOP BEFORE YOU DIG. CALL 811. IT'S THE LAW.
 - HEAVY DUTY PAVEMENT SHOWN ON THIS PLAN IS CAPABLE OF SUPPORTING AN 80,000 LB FINE TRUCK.

ZONING CODE SUMMARY

PROJECT NAME: HYUNDAI OF SOUTH CHARLOTTE
 OWNER: TI OF PINEVILLE PROPERTY, LLC PHONE #: 581-555-8800
 PLANS PREPARED BY: BENESCH PHONE #: 704-521-9880
 ZONING: B-4 JURISDICTION: PINEVILLE
 PROPOSED USE: AUTO DEALERSHIP TAX PARCEL #: 205-092-05
 NEW BUILDING HEIGHT: 28 Feet. Stories: 1
 NEW BUILDING COVERAGE: 26,488 Sq. Ft. GROSS FLOOR AREA: 26,488 Sq. Ft.
 LOT SIZE: 11.22 Ac. FL. Acres NUMBER OF UNITS/SUITES: 1
 YARD REQUIREMENTS:
 Setback (Front): N/A Ft. from R/W, N/A Ft. from C/L of R/W
 Side Yard (L): N/A Ft. Side Yard (R): N/A Ft.
 Rear Yard: N/A Ft.
 REQUIRED BUFFERS:
 Front: (NO) / YES _____ Ft. Rear: (NO) / YES _____ Ft.
 Side (L): (NO) / YES _____ Ft. Side (R): (NO) / YES _____ Ft.
 REQUIRED SCREENING:
 Front: (NO) / YES _____ Ft. Rear: (NO) / YES _____ Ft.
 Side (L): (NO) / YES _____ Ft. Side (R): (NO) / YES _____ Ft.
 Parking Only: NO / YES _____
 PAVEMENT COVERAGE: 99.926 S.F. (Sq. Ft.) / Acres

PARKING DATA:
 VEHICLE PARKING DATA:
 60 EMPLOYEES-TOTAL
 20 SALES PERSONS
 40 OTHER EMPLOYEES
 RGV'S PARKING: 4 SPACES/SALES PERSON + 20 = 80 SPACES
 1 SPACE/OTHER EMPLOYEES + 40 = 40 SPACES
 TOTAL REQUIRED = 120 SPACES
 PARKING PROVIDED: CUSTOMER/PUBLIC SPACES = 45
 SERVICE/SALES/EMPLOY. SPACES = 814
 TOTAL NUMBER OF PARKING SPACES PROVIDED = 559

BICYCLE PARKING DATA:
 (SEC. 4.58)1 PER EVERY 50 CAR SPACES(120 SPACES/50= 2.4 OR 3 BIKE PARKING SPACES)
 TOTAL # SPACES: 120
 ACCESSIBLE SPACES: 5 (1 VAN) 5 (2 VAN)
 BICYCLE SPACES: 3
 ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

SEE IRRIGATION DWGS. FOR IRRIGATION SLEEVES.

LEGEND

---	EXISTING SIGN	---	EXISTING CURB AND GUTTER
- - -	PROPOSED SIGN	- - -	PROPOSED CURB AND GUTTER
---P---	EXISTING IRON PIN	---	PROPERTY LINE
*	EXISTING LIGHT POLE	---	EXISTING FENCE
---P---	EXISTING UTILITY POLE	---	PROPOSED FENCE
R/W	RIGHT-OF-WAY	---	EXISTING OVERHEAD UTILITY LINE
HC	ACCESSIBLE SPACE	---	ASPHALT OVERLAY
---	EXISTING TREE TO REMAIN	---	STANDARD DUTY ASPHALT PAVEMENT
---	EXISTING FIRE HYDRANT	---	HEAVY DUTY ASPHALT PAVEMENT
---	# OF PARKING SPACES	---	VEHICULAR CONCRETE PAVEMENT
---	CENTERLINE	---	ACCESSIBLE RAMP
---	PROPOSED BOLLARD	---	PROPOSED SITE LIGHTING
---	PROPOSED GAS METER		

Project No: 17000070.02
 Date: 03.04.2020
 Revisions:

Sheet Title:
Site Plan

Sheet No:
C200

