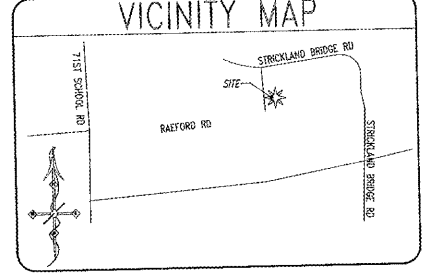


UTILITY STATEMENT

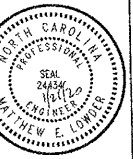
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



TRIANGLE SITE DESIGN
 CONSULTANT:
 TRIANGLE SITE DESIGN, PLLC
 4004 BARRETT DR, STE 101
 RALEIGH, NC 27609
 (919) 553-6570



OWNER/DEVELOPER:
 Roanoke Rd Fayetteville 2019, LLC
 Hertzog Holdings, LLC
 Attn: Collins Hertzog
 109 Still Wild Lane
 Elgin, SC 29045
 803-361-6718
 collins@hertzogholdings.com



Starbucks
 920 Strickland Bridge Road
 Fayetteville, NC
 Cumberland County

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

REVISED	DATE	DESCRIPTION
1	10/15/15	PER CITY OF FAYETTEVILLE REVIEW
2	10/29/15	PER CITY OF FAYETTEVILLE REVIEW AND GAS COMMERCIAL PROPERTIES CONFORMANCE
3	12/29/16	REVISED PER FAYETTEVILLE PERM REVIEW
4	1/17/20	REVISED PER STARBUCKS REVIEW

Drawn: [Blank]
 Checked: [Blank]
 Approved: [Blank]
 Project No.: 009016
 Date: November 1, 2019
 Title: EXISTING CONDITIONS PLAN
 Sheet No.: D1.0

SURVEY NOTES

1. TITLE REPORT FURNISHED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT: A19302163
2. AREAS COMPUTED BY COORDINATE METHOD.
3. PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
4. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
5. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
6. RIGHT-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
7. NO ORB COORDINATES (NAD83) OBTAINED BY USING GPS, PPE TECHNIQUE NETWORK.
8. BASIS OF BEARING SHOWN HEREON IS MC GREGG B3 N 201° 20' 00" E.
9. VERTICAL DATUM SHOWN HEREON IS NAVD83.
10. THE CORNER SHOWN HEREON IS LOCATED IN FLEETING "CREEK", AREA OF UNPAVED FLOOR FLOOR INSURANCE WHITE WASH (404000), PANEL 0406 EFFECTIVE DATE: JANUARY 5, 2007.

DEMOLITION NOTES

1. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
2. WITHIN THE SUBJECT PROPERTY, THE CLIENT IS TO HAVE A CLEAR, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW CONSTRUCTION.
3. ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
4. THE CONTRACTOR SHALL REMOVE ALL SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
5. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
6. THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL UTILITY LOCATE, 72 HOURS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN (AS REQUIRED). ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
8. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
9. BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
10. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION.
12. ALL BUILDINGS, FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS AND PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
13. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE REMOVED BY THE GENERAL CONTRACTOR USING A LICENSED HAZARDOUS MATERIAL CONTRACTOR.

KEYNOTES

- DEMOLITION**
- 1 Remove trees and root system
 - 2 Remove existing building and foundation
 - 3 Remove existing fence and post
 - 4 Remove all existing shrubs and debris
 - 5 Remove existing sidewalks
 - 6 Remove existing concrete curb
 - 7 Remove existing driveway approaches
 - 8 Remove existing pavement
 - 9 Remove existing utilities including meters & service lines - coordinate with appropriate utility service providers

EROSION CONTROL NOTES:

AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY NCDCS PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:

ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: BOULDER ENGINEERING, PLLC

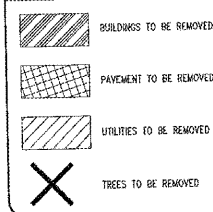
STREAM/WETLAND NOTE:

THERE IS AN EXISTING JURISDICTIONAL STREAM FEATURE ON THE SOUTHEASTERN PROPERTY BOUNDARY. THERE ARE NO PROPOSED IMPACTS TO THE EXISTING STREAM FEATURE AS PART OF THE DEVELOPMENT OF THE PROPERTY.

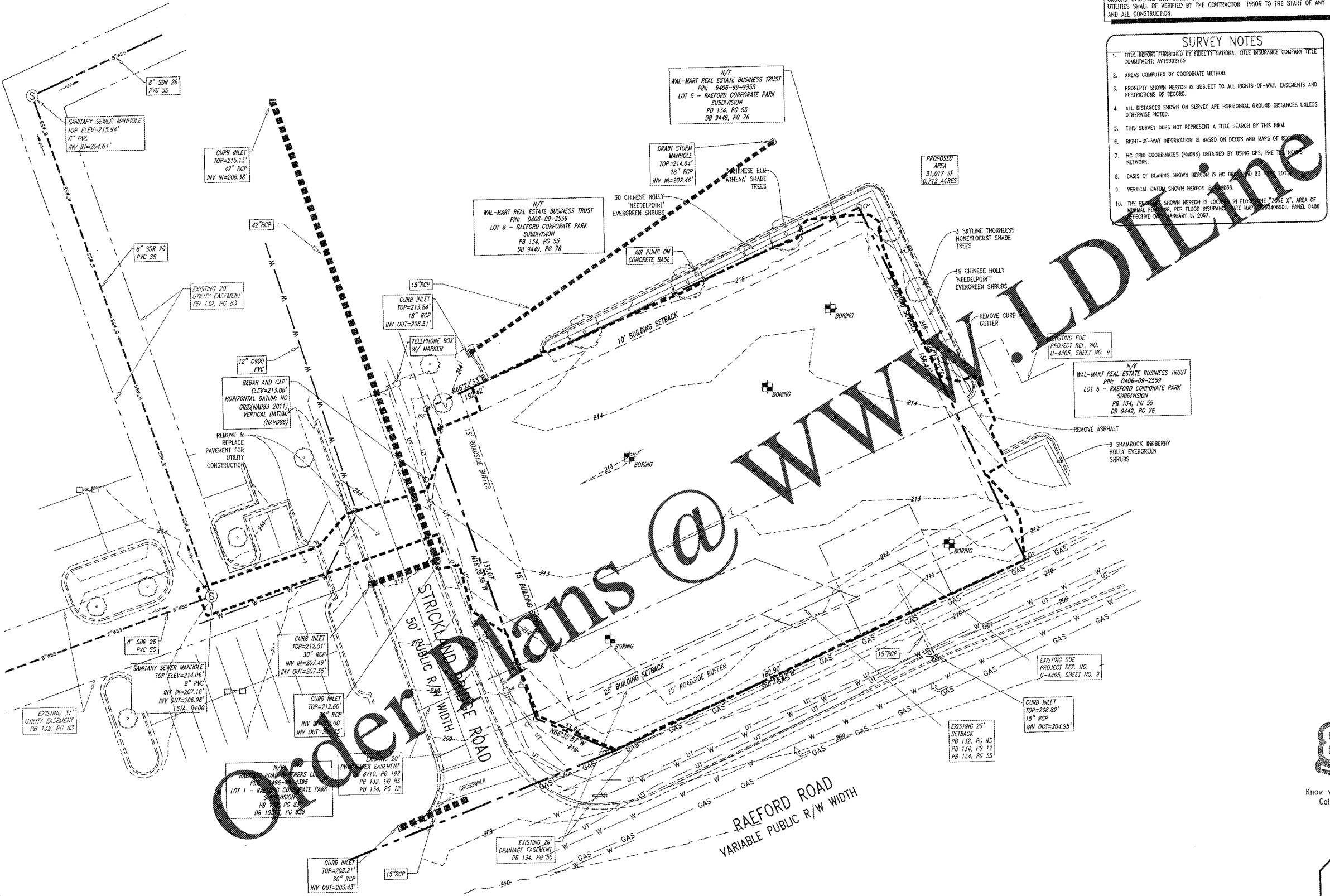
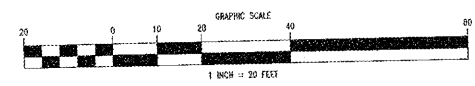
FLOOD ZONE NOTE:

THIS SITE IS NOT LOCATED IN A FLOOD ZONE AREA AS SHOWN ON F.I.R.M. MAPS 3710486001 & 9720040001. EFFECTIVE DATE: JANUARY 5, 2007. FLOOD ZONES ARE SUBJECT TO CHANGE BY FEMA.

DEMOLITION LEGEND



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 VARIABLE PUBLIC R/W WIDTH