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PROJECT:
NEW O'REILLY AUTO PARTS STORE
U.S. HIGHWAY 11
STRASBURG, VA
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # 4253
 DATE: 11-2-18
 REVISION DATE: 3-8-19
 6-20-19
 9-27-19

C2.1

GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB, GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- F FOR BUILDING FRONT SIDEWALK GENERAL DEVELOPMENT LAYOUT CONCEPT, REFER TO DETAIL 12/C2.2.

KEY NOTES

- 1 CONCRETE PAVING (STANDARD) AT PARKING AREAS. REFER TO DETAIL 12/C2.1.
- 2 CONCRETE PAVING (HEAVY DUTY) DRIVE AREAS, DRIVE APRONS, DRIVE LANES, REFUSE AREAS. REFER TO DETAIL 2/C2.2.
- 3 CONCRETE CURB REFER TO DETAIL 3/C2.2.
- 4 CONCRETE SIDEWALK CURB. REFER TO DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- 5 SIDEWALK OR DOOR LANDING. REFER TO DETAIL 5/C2.2 AND STRUCTURAL DRAWINGS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
- 6 ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING. REFER TO DETAIL 6/C2.2.
- 7 STEEL BOLLARD. REFER TO DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA. (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- 8 ACCESSIBLE PARKING SIGN. REFER TO DETAIL 8/C2.2.
- 9 DETECTABLE WARNING SURFACE. REFER TO DETAIL 9/C2.2.
- 10 ACCESSIBLE CONCRETE CURB RAMP CG-12 TYPE A TO BE INSTALLED PER TOWN AND/OR STATE DESIGN STANDARDS. FINAL LOCATION TO BE DETERMINED BY VDOT INSPECTOR. SEE DETAIL SHEET C2.4.
- 11 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 12 REFUSE ENCLOSURE. REFER TO 1/C2.3.
- 13 CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" LONG) ANCHORED TO PAVING WITH (2) 1/2" #4 REBAR.
- 14 PARKING LOT LIGHTING. REFER TO UTILITIES SITE PLAN FOR TYPE AND CONSTRUCTION.
- 15 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 16 SITE SIGN. REFER TO SHEET S01.1 FOR TYPE AND CONSTRUCTION. SIGN OWNER FURNISHED AND INSTALLED. (REFER TO SCOPE OF WORK SCHEDULE) REFER TO UTILITIES SITE PLAN FOR ADDITIONAL REQUIREMENTS.
- 17 CONCRETE DRIVE APRON TO BE INSTALLED PER STATE DESIGN STANDARDS. VDOT STANDARD CG-13 COMMERCIAL ENTRANCE.
- 18 LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- 19 ROLL DOWN CURB END TRANSITION SLOPING 1:2.
- 20 CONCRETE CURB IN RIGHT-OF-WAY TO MATCH EXISTING SEE VDOT CG-6 DETAIL SHEET C2.4.
- 21 CURB OPENING. REFER DETAIL SHEET C2.4.
- 22 CONCRETE SIDEWALK IN RIGHT-OF-WAY TO BE INSTALLED PER TOWN AND/OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 5/C2.2.
- 23 3" WIDE MINIMUM DESIGNATED ACCESSIBLE ROUTE. SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE. PROVIDE PAVEMENT STRIPING AS INDICATED.
- 24 END OF SIDEWALK TYPE II OR TYPE III BARRICADE WITH TYPE 4 MARKERS. SEE DETAILS 17/C2.2 AND 17/C2.2.
- 25 FIRE LANE TO BE INSTALLED PER FIRE MARSHAL DESIGN STANDARDS. IF NO STANDARDS, PROVIDE 4" RED STRIPING AND CURB PAINT AROUND DRIVEWAYS AND PARKING ACCESS AISLE PERIMETER WITH 4" WHITE HELVETICA LETTERS STATING "NO PARKING - FIRE LANE" AT LOCATIONS INDICATED.
- 26 5" PAINTED CROSSWALK
- 27 2' STOP BAR
- 28 STOP SIGN
- 29 MILL AND OVERLAY PER VDOT WP-2. SEE DETAIL SHEET C2.4.
- 30 RIGHT TURN ARROW PER MUTCD STANDARDS
- 31 PROPOSED HANDRAIL. SEE DETAIL SHEET C2.4.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- NEW BUILDING CONSTRUCTION
 - AREA OF CONCRETE
 - AREA OF PAVING (SEE SHEET C02 FOR DETAIL)
 - AREA OF GRAVEL (SWM ACCESS ROAD)
 - EXTENTS OF MILL AND OVERLAY
 - NEW MONUMENT SIGN LOCATION
 - NEW CONCRETE PAVING BLOCK
 - NEW LIGHT POLE LOCATION
 - NEW FENCE CONSTRUCTION
 - NEW SPILL CURB
 - NEW TRANSITION CURB
 - CURB RADIARE TO THE FACE OF CURB

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR GENERAL NOTES
- THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SPECIAL NOTE

PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.



PROJECT No. V183204 SCALE: 1"=20'
 DRAWN BY / CHECKED BY DSH/JOR CAD I.D. SS2

AIRPORT BUSINESS CENTER, LLC
 UNITS 1 & 2
 DB 1608, PG 965 (DETD)
 DB 1276, PG 822 (PLAT)
 MOSELEY HOLDINGS, LLC
 1234 BOWLING GREEN ROAD
 FRONT ROYAL, VA 22830
 UNIT 3
 DB 1276, PG 674 (DETD)
 DB 1276, PG 822 (PLAT)
 LOT 102
 ZONED PD
 USE: OFFICE

PID 016C-02-101
 RE/MAX REALTY GROUP, LLC
 507 FLETCHER PLACE
 ROCKVILLE, MD 20851
 DB 1700, PG 827 (DETD)
 DB 1053, PG 153-154 (PLAT)
 LOT 101
 ZONED PD
 USE: OFFICE

PID 016C-02-002
 DAVID T. BURNS
 63 CRYSTAL RIDGE DR
 ELLINGTON, CT 06029
 DB 1748, PG 753 (DETD)
 DB 1038, PG 175 (PLAT)
 LOT 12
 ZONED PD
 USE: MULTI-FAMILY RESIDENTIAL
 BOTTOM OF DROP OFF
 DB 924, PG 1 (APPROX)

PID 016C-02-003
 DAVIS S. JARR &
 LUCY C. CHANEY TRUST
 109 POTTERS CIRCLE
 STRASBURG, VA 22657
 DB 1700, PG 24 (DETD)
 DB 1038, PG 175 (PLAT)
 LOT 3
 ZONED PD
 USE: MULTI-FAMILY RESIDENTIAL

PID 016-10-023
 MOONRAISE PROPERTY DEVELOPMENT, LLC
 P.O. BOX 1306
 CUMBERLAND, MD 21501
 DB 1210, PG 737 (DETD)
 DB 1210, PG 742 (PLAT)
 LOT 23
 ZONED HC
 USE: VACANT

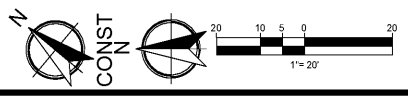
ZONING ANALYSIS TABLE			
HC - HIGHWAY COMMERCIAL - AUTO PARTS SUPPLY BY RIGHT			
ZONING DISTRICT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	43,560 SF	73,201 SF	NO CHANGE
MINIMUM STREET FRONTAGE	75 FT	180.23 FT	NO CHANGE
MIN. FRONT SETBACK	40 FT	N/A	115.0 FT
MIN. SIDE SETBACK	20 FT	N/A	20.9 FT
MIN. REAR SETBACK	50 FT	N/A	205.1 FT
LANDSCAPE BUFFER (FRONT)	10 FT	N/A	41 FT
PARKING LANDSCAPE AREAS	5%	N/A	5%
PARKING SPACES	17	N/A	41
LOADING REQUIREMENTS	1 (15' x 35')	N/A	1 (15' x 35')
PARKING CRITERIA (9' x 18') AISLE WIDTH REQUIREMENT NOT SPECIFIED	AUTO PARTS SUPPLY = 1 SPACE PER 200 SF OF RETAIL OR WHOLESALE FLOOR AREA 3,290 SF / 200 SF = 16.5 OR 17 SPACES REQUIRED		ACCESSIBLE PARKING = 26-50 SPACES REQUIRE 2 ACCESSIBLE SPACE (2 PROVIDED, 1 VAN)
MAX. LOT COVERAGE (BUILDING)	75 %	N/A	10.1 %
MAX. BUILDING HEIGHT	50 FT	N/A	17.6 FT
OPEN/GREEN SPACE	10%	N/A	56% (40,686 SF)

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KNOW WHAT'S BELOW
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1 SITE DEVELOPMENT PLAN
C2.1 SCALE: 1" = 20'



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