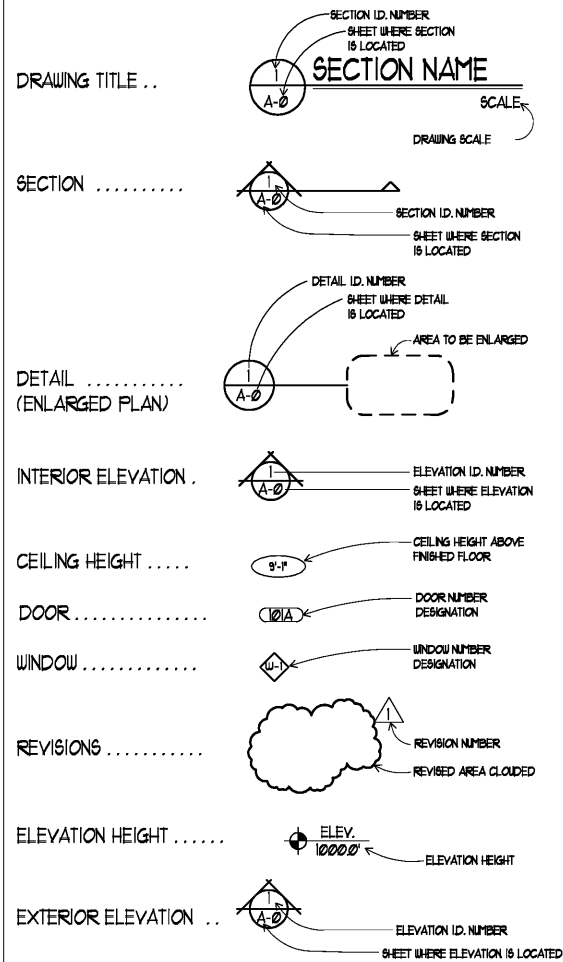


**SYMBOLS LEGEND**



**PARTIAL ABBREVIATIONS LIST**

DIA -----DIAMETER	STRUCT -----STRUCTURAL
CONC -----CONCRETE	W/ -----WITH
SPEC -----SPECIFICATION	GA -----GAUGE
MIN -----MINUTE OR MINIMUM	DTL -----DETAIL
LB -----POUND	CLG -----CEILING
GYP BD -----GYPSUM BOARD	MFG R -----MANUFACTURER
FF -----FINISHED FLOOR	REBAR -----REINFORCING BAR
CMU -----CONCRETE MASONRY UNIT	P.T. -----PRESSURE TREATED
F.E -----FIRE EXTINGUISHER	O.C -----ON CENTER
H.C -----HANDICAP	SF -----SQUARE FOOT
COL -----COLUMN	W.P -----WATER PROOF
H.M -----HOLLOW METAL	WT. -----WEIGHT
OPNG -----OPENING	YD. -----YARD
MTL PNL -----METAL PANEL	HGT. -----HEIGHT

**WALL LEGEND**

# NEW RESTAURANT FOR: IHOP

## VILLA RICA, GEORGIA

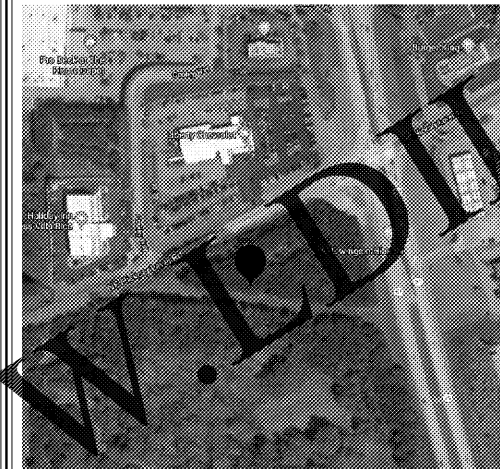
OWNER:  
ASAD MAZAHIR

DIRECT ALL QUESTIONS TO  
TROY BELL - PROJECT DIRECTOR  
770-830-8856 EXT. 18  
ATTN. TROY BELL  
troy@alanbellarchitect.com

ARCHITECT:  
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128 LOVORN ROAD  
CARROLLTON, GEORGIA 30117  
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ALAN BELL THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE. THIS NOTE IS INCLUDED PER GA CODE SECTION 90-2A-02 AND BOARD RULE 43-4-16

**LOCATION MAP**



**GENERAL PROJECT NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. CONTRACTORS SHALL COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. THE GENERAL BUILDING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR. THE OWNER SHALL OBTAIN BUILDING PERMIT FEES. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY. RESPONSIBLE. ALL REQUIRED CITY, COUNTY AND/OR STATE LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL SUBCONTRACTOR.
- APPROVED PLANS SHALL BE KEPT IN THE JOB TRAILER AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS OF THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY ANY SUCH DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING WORK.
- STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS, DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING UTILITIES AND LOCATIONS TO BE MATCHED SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITY SERVICES AND TO PROTECT THEM FROM DAMAGE. THE UTILITIES, WHETHER SHOWN HEREON OR NOT, CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. IT IS MANDATORY THAT THE CONTRACTOR CALL FOR A UTILITY LOCATE PRIOR TO STARTING EXCAVATION.
- GENERAL CONTRACTOR SHALL REFER TO THESE DOCUMENTS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL ITEMS ARE TO BE INSTALLED AS PART OF THE CONTRACT UNLESS OTHERWISE NOTED.
- FOR CONSTRUCTION MATERIALS NOT SHOWN ON THE MANUFACTURER'S APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. CONTRACTOR SHALL ACCEPT PREMISES AS BIDDING. ARCHITECT/OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, SLOPE DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER UTILITIES UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS EQUIPMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS UNTIL JOB IS COMPLETED.
- ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE TEMPORARY WATER POUCH AND TOILET FACILITIES AS REQUIRED, AND SHALL BE RESPONSIBLE FOR ALL UTILITY COST UNTIL DATE OF SUBSTANTIAL COMPLETION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UN-CRATING, INSTALLATION AND HOOKUP OF ALL EQUIPMENT AND ANY OWNER FURNISHED ITEMS, EXCEPT FURNITURE, PLANTS AND DECOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAILURE, IMPROPER OR DEFECTIVE MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT. EXCEPTION: (THE ROOFING SUBCONTRACTOR SHALL FURNISH AND MAINTAIN AGREEMENT CO-SIGNED BY THE CONTRACTOR TO MAINTAIN THE ROOFING IN A WATERTIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER DATE OF SUBSTANTIAL COMPLETION)
- GENERAL CONTRACTOR IS REQUIRED TO LABEL ALL ELECTRICAL PANELS, PLUMBING VALVES, AND ROOF TOP EQUIPMENT. PLASTIC PHENOLIC ENGRAVED PLATE SCREENED ON.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.

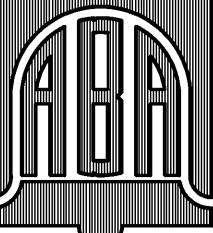
- THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE OWNER AND/OR ARCHITECT'S APPROVAL OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
- DECORATIVE MATERIALS SHALL BE NON-FLAMMABLE OR FLAMEPROOF PER STATE FIRE MARSHALL REQUIREMENTS.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- PIPES AND DUCTS EXCEEDING ONE THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, ACCESSORIES, ETC.
- HOT WATER TEMPERATURE AT ALL SINKS TO BE ADJUSTED SO AS NOT TO EXCEED 100 DEGREES FAHRENHEIT.
- ALL BIDDING AND CONSTRUCTION IS ADMINISTERED BY ARCHITECT. OWNER AND/OR CONSULTANTS SHOULD NOT BE CONTACTED DIRECTLY. HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONTINUED TO APPLY TO ALL SIMILAR CONDITIONS ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION.
- TERMITE PROTECTION TO COMPLY WITH ALL STATE AND LOCAL CODES.

**CODE INFORMATION**

- APPLICABLE CODES:**  
2018 IBC  
2018 IFC  
2018 IPC  
2018 IMC  
2018 IFGC  
2011 NEC  
2015 IECC  
2012 NFPA 101 LIFE SAFETY CODE  
2010 GEORGIA ACCESSIBILITY CODE WITH CHAPTER 120-3-20
- BUILDING DESCRIPTION:**  
CONSTRUCTION TYPE:  
USE GROUP:
- BUILDING AREA TABULATION:**  
TOTAL (INTERIOR): 3,353 SQ FT  
TOTAL (GROSS): 3,575 SQ FT
- OCCUPANCY AND EGRESS:**  
GROUP A-2  
KITCHEN: 42 PEOPLE  
6 PEOPLE  
TOTAL OCCUPANCY: 148 PEOPLE  
EXITS REQUIRED: 2  
EXITS PROVIDED: 3
- PLUMBING FIXTURES:**  
WOMEN: REQ'D. 1, PROVIDED 2  
WATER CLOSETS: 1, LAVATORIES: 1  
MEN: WATER CLOSETS: 1, LAVATORIES: 2  
UNISEX: WATER CLOSETS: 0, LAVATORIES: 0  
SERVICE SINKS: 1, 9

**LIST OF DRAWINGS**

DWG. NO.	DRAWING DESCRIPTION
<b>ARCHITECTURAL</b>	
A01	DETAILS
A02	HANDICAP DETAILS
A03	FINISH SCHEDULE
F910	KITCHEN LAYOUT AND EQUIPMENT SCHEDULE
A10	EXTERIOR BUILDING ELEVATIONS
A11	UPDATED FLOOR PLAN, KITCHEN LAYOUT, COLUMN DETAILS
A12	NOTED FLOOR PLAN
A13	FURNISHING/EGRESS PLAN
A14	NOTED REFLECTED CEILING PLAN
A15	DIMENSIONED REFLECTED CEILING PLAN
A16	ROOF PLAN
A17	ENLARGED RESTROOM AND DETAILS
A18	ENLARGED DUMPSTER ENCLOSURE PLAN AND DETAILS
A20	WEST AND SOUTH ELEVATION
A21	EAST AND NORTH ELEVATION
A22	INTERIOR ELEVATIONS
A23	KITCHEN ELEVATION
A24	OFFICE ELEVATIONS
A31	BUILDING SECTIONS
A32	WALL SECTIONS
A33	FLOOR SECTIONS
A34	CEILING SECTIONS
A35	SECTIONS/DETAILS
A36	SECTIONS/DETAILS
A37	DETAILS
A40	DOOR DETAILS
A41	DOOR AND WINDOW DETAILS
<b>STRUCTURAL</b>	
S00	GENERAL NOTES
S01	TYPICAL DETAILS
S10	FOUNDATION PLAN
S20	ROOF FRAMING PLAN
S30	SECTIONS AND DETAILS
S40	SECTIONS AND DETAILS
S41	SECTIONS AND DETAILS
<b>PLUMBING</b>	
P11	PLUMBING DIV FLOOR PLAN
P12	WATER AND GAS FLOOR PLAN/ENLARGED MECHANICAL ROOM PLAN
P21	DIV ISOMETRIC RISER DIAGRAM
P22	WATER AND GAS ISOMETRIC RISER DIAGRAMS
P31	PLUMBING SCHEDULES AND NOTES
P41	PLUMBING DETAILS
P42	PLUMBING DETAILS
<b>MECHANICAL</b>	
M11	MECHANICAL FLOOR PLAN
M21	MECHANICAL SCHEDULES AND NOTES
M31	MECHANICAL DETAILS
MEPL1	MEP ROOF PLAN
<b>ELECTRICAL</b>	
E11	LIGHTING FLOOR PLAN
E12	POWER FLOOR PLAN
E13	SPECIAL SYSTEMS FLOOR PLAN
<b>SPECIFICATIONS</b>	
SP.6	SPECIFICATIONS
SP.7	SPECIFICATIONS
<b>DATES</b>	
ISSUED FOR CHECK SET: _____	
ISSUED FOR FIRE MARSHAL PERMIT: _____	
ISSUED FOR BIDS: _____	
ISSUED FOR CONSTRUCTION: _____	
ISSUED FOR AS BUILT: _____	



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REVISIONS	BY

NEW RESTAURANT FOR:  
**IHOP**  
VILLA RICA, GEORGIA

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DATE : 1/28/2020  
SCALE : AS NOTED  
JOB NO. : 18-015-D-01  
SHEET  
**TITLE**  
OF 1 SHEETS

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