

NC GRID NAD 83

CONSTRUCTION PHASING:
 TWO PROJECTS WILL BE CONSTRUCTED IN TWO PHASES:
 PHASE 1: WILL CONSIST OF FILLING THE PLAY AREA. THIS PHASE WILL BE DONE DURING THE SUMMER BREAK WHEN SCHOOL IS NOT IN SESSION.
 PHASE 2: WILL CONSIST OF BUILDING, DRIVE AND PARKING CONSTRUCTION. THIS PHASE WILL BE DONE DURING THE SCHOOL YEAR. SO CARE MUST BE TAKEN TO ENSURE THAT THE STUDENTS SAFETY IS A PRIORITY. CONTRACTOR IS RESPONSIBLE TO INSTALL SAFETY FENCING AROUND THIS PHASE TO PREVENT STUDENT ACCESS.

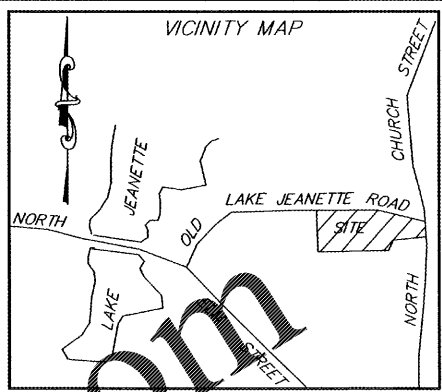
LANDSCAPE DATA:
 (1) CANOPY TREE REQUIRED
 CANOPY TREE SIZE: CANOPY TREES MUST HAVE A MINIMUM HEIGHT AT MATURITY OF 40 FEET AND A MINIMUM CROWN WIDTH OF 30 FEET. DROUGHT-TOLERANT CANOPY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 2 INCHES. OTHER CANOPY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 3 INCHES.
 (2) ALL PLANTINGS MUST BE MULCHED (INCLUDING INTERIOR PARKING LOT ISLANDS LESS THAN 500 SQUARE FEET) TO A DEPTH OF 3 TO 4 INCHES. THE MULCH MUST BE PERMANENTLY MAINTAINED FREE OF TRASH AND WEEDS.
 (3) EARTHEN BASINS MUST BE CONSTRUCTED AROUND THE INSTALLED PLANTS.
 (4) PLANTS, AS PERMITTED BY THIS ORDINANCE, ARE GROUPED TOGETHER WHERE POSSIBLE.
 (5) FOR ESTABLISHMENT AND SURVIVAL, PLANTS SHALL BE WATERED IN THE FIRST YEAR OF PLANTING.
 (6) IRRIGATION: IT IS SUGGESTED THAT DRIP IRRIGATION, WHICH INCLUDES DRIP MASTERS, BE USED FOR REQUIRED LANDSCAPING PLANTING BEDS DURING THE REQUIRED ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, SUPPLEMENTAL WATERING CAN BE REDUCED AND USED ON AN AS NEEDED BASIS. TRADITIONAL SPRAY IRRIGATION IS PROHIBITED EXCEPT FOR TURF AREAS.

ROOT PRUNING NOTES:
 ALL ROOT PRUNING SHALL BE DONE PRIOR TO DISTURBING THE SITE WHERE THE PRUNING IS TO BE DONE.
 ROOT PRUNING SHALL BE CONDUCTED ALONG THE LINE BETWEEN THE DISTURBANCE AND THE TREE AS INDICATED ON THE APPROVED PLAN.
 ROOT PRUNING SHALL BE DONE USING A ROOT PRUNING SAW SPECIFICALLY DESIGNED FOR THIS PURPOSE, OR BY A SIMILAR PIECE OF EQUIPMENT DESIGNED FOR NARROW TRENCHING SUCH AS A DITCH-WITCH. ALL CUTS SHALL BE MADE WITH AS NARROW TOOTH AS POSSIBLE. ALL CUTS SHALL BE CLEAN, LEAVING A SMOOTH CUT SURFACE ON THE ROOT END.
 ALL ROOT PRUNING SHALL BE DONE TO THE MINIMUM DEPTH REQUIRED TO COMPLETE THE INSTALLATION OF IMPROVEMENT BUT IN NO CASE MORE THAN 24 INCHES.
 ONCE ROOTS HAVE BEEN PRUNED AND THE GRADING, TRENCHING OR FILLING COMPLETED, THE ROOT ENDS SHALL NOT BE EXPOSED TO THE ATMOSPHERE FOR MORE THAN EIGHT HOURS. IF THE DISTURBED AREA CANNOT BE COVERED WITHIN EIGHT HOURS OF EXCAVATION THEN THE ROOT ENDS SHALL BE MOISTENED BY MISTING WITH WATER OR APPLYING A WATER SOAKED FABRIC SUCH AS BURLAP AGAINST THEM UNTIL SUCH TIME AS THE DISTURBED AREA CAN BE COVERED.
 ALL ROOT PRUNING SHALL BE DONE BY OR UNDER THE DIRECT, ON-SITE SUPERVISION OF A CERTIFIED ARBORIST. ALL ROOT PRUNING SHALL BE CONDUCTED IN ACCORDANCE WITH A.R.S. 13-2-200 OR OTHER APPROVED TREE CARE INDUSTRY STANDARDS.

LANDSCAPING NOTES:
 ANY MISSING, DEAD OR DAMAGED PLANT MATERIAL IN THE EXISTING PERIMETER PLANTING YARDS AND PARKING LOTS WILL BE REPLACED AS PART OF THIS PROJECT. CONTACT THE URBAN FORESTER AT 336-373-2150 TO ARRANGE FOR A FINAL INSPECTION PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
 AN APPROVED LANDSCAPE PLAN IS ON FILE WITH THE CITY OF GREENSBORO FOR THIS DEVELOPMENT. ANY MISSING, DEAD OR DAMAGED PLANT MATERIAL IN THE EXISTING PERIMETER PLANTING YARDS AND PARKING LOTS WILL BE REPLACED AS PART OF THIS PROJECT. CONTACT THE URBAN FORESTER AT 336-373-2150 TO ARRANGE FOR A FINAL INSPECTION PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
 CREDITS FOR SAVING EXISTING TREES - THE APPLICANT WILL CONTACT THE URBAN FORESTER AT 336-373-2150 AFTER THE COMPLETION OF THE SITE GRADING TO ARRANGE FOR AN ON-SITE MEETING/INSPECTION TO DETERMINE THE CREDIT FOR THE EXISTING VEGETATION TOWARDS THE NUMBER OF PLANTS IN THE PERIMETER BUFFER YARDS.
 THIS IS A CONCEPTUAL LANDSCAPE PLAN. THE APPLICANT MUST SUBMIT A DETAILED LANDSCAPE PLAN (WHICH DEPICTS THE PLANT TYPES AND LOCATIONS) WITHIN 90 DAYS FROM THE ISSUANCE OF THE BUILDING PERMIT FOR REVIEW BY THE PLANNING DEPARTMENT. THE LANDSCAPE PLAN MUST BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO RECEIVING AN INSPECTION FOR THE CERTIFICATE OF OCCUPANCY.

TREE CONSERVATION NOTES:
 1. CONTACT THE PLANNING DIRECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE ANY TREE DISTURBANCE, EXCEPT AS NOTED IN SEC. 30-4-26.6(C)(5), OCCURS ON THIS SITE.
 2. ALL TREE CONSERVATION DEVICES MUST BE INSTALLED BEFORE INSPECTION BY THE PLANNING DIRECTOR AND BEFORE ANY TREE DISTURBANCE ACTIVITIES, EXCEPT AS NOTED IN SECTION 30-4-26.6(C)(5), OCCUR.
 3. REMOVAL OF OR DAMAGE TO TREES IN THE TREE CONSERVATION AREA WILL BE SUBJECT TO ALL AVAILABLE REMEDIES AND PENALTIES UNDER THE CITY'S DEVELOPMENT ORDINANCE.
 4. NO PARKING, STORAGE, DIRT STUMPING, CONCRETE WASHOUT OR ANY OTHER ACTIVITIES IS PERMITTED IN THE TREE CONSERVATION AREA.

TREE CONSERVATION:
 RECD: (1.8 ACRES)(10%) = 0.18 ACRES
 PROVS: 5.38 ACRES



DESCRIPTIVE DATA:
 TOTAL AREA: 11.18 ACRES
 DISTRICT: R-3
 ZONING: R-3
 (SEE REFERENCES)
 PARCEL #001156: DB 4085, PG 646
 PARCEL #001157: DB 5307, PG 283
 PARCEL #001158: DB 4441, PG 241
 PARCEL #001156: DB 5586, PG 1159
 PARCEL #0130897: DB 7581, PG 2533
 TO USE CLASSIFICATION: 3
 TOTAL AREA: 113,833 SF
 BUILDING HEIGHT: 50'
 MAX. BUILDING HEIGHT ALLOWED: 50'
 NUMBER OF STORES: 1

OVERLAY DISTRICTS:
 N. 24th STREET VISUAL CORRIDOR OVERLAY ZONE
 SCENIC CORRIDOR OVERLAY DISTRICT 1 (EXISTENT)
 THE EXISTING B.L.A. #2010 WAS 6.7 ACRES. THIS SHOWS UP ON PLAN #2012-0558 (THERE WAS NOT ANY DEVELOPMENT FROM 2010 UNTIL PLAN #2012-0558). A 25% INCREASE WOULD BE 8.38 ACRES. THIS CURRENT DEVELOPMENT PLAN SHOWS A TOTAL B.L.A. OF 8.38 ACRES. THIS DEVELOPMENT IS UNDER THE 25% INCREASE, THEREFORE IT IS EXEMPT FROM THE S.C.D.1-1 REQUIREMENTS.
 SCENIC CORRIDOR OVERLAY DISTRICT 2

SETBACK REQUIREMENTS:
 STREET SETBACK FRONT: 30'
 STREET SETBACK SIDE, EXCEPT THROUGHFARE: 15'
 STREET SETBACK THROUGHFARE: 35'
 INTERIOR SIDE SETBACK: 10'
 INTERIOR REAR SETBACK: 30'

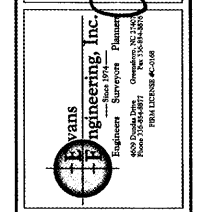
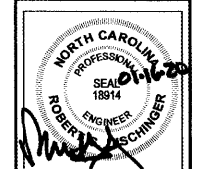
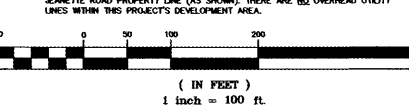
WATERSHED DATA:
 DISTURBED AREA: 3.19 ACRES
 WATERSHED GREENSBORO (OWN)
 BUILT UPON AREA: EXISTING: 0.52 AC (23%)
 EXISTING B.L.A. TO BE REMOVED: 0.72 ACRES
 PROPOSED: 0.56 ACRES
 TOTAL: 1.08 ACRES (23%)
 DISTANCE TO FLOODING: 2000'
 FLOOD MAP #371078700L DATED 6-18-2007
 SOIL TYPES: CM2 - ICEL SANDY LOAM 2-10%
 ORANGE: LPE2 OR IMPROVED
 AVERAGE SLOPE: 3.18%
 LAND COVER: NATURAL OR STABILIZED
 RUN-OFF CONTROL: TOTAL TO MINIMUM
 SEWAGE DISPOSAL: PUBLIC
 DRAINAGE: CURB AND GUTTER
 WOODED AREA PROVIDED: 5.70 ACRES (16%)
 LOCATION: LATITUDE: 36.142196, LONGITUDE: -79.791869

PARKING REQUIREMENTS:
 THE PROPOSED BUILDING IS A LIBRARY AND ADMINISTRATION BUILDING REPLACING EXISTING TEMPORARY MODULAR STRUCTURES. NO ADDITIONAL SPACES REQUIRED. EXISTING MODULAR UNITS WILL REMAIN. THEY WILL BE USED AS TELE SPACE, STORAGE, OFFICE, STORAGE, ACTIVITIES, ETC. ALL OF THE OFFICE/ADMINISTRATION AND LIBRARY UNITS WILL BE RELOCATED TO THE PROPOSED BUILDING.
EXISTING:
 EXISTING CLASSROOMS: (31 CLASSROOMS)(3) = 93 SPACES RECD.
 EXISTING OFFICE/ADMIN.: (5032 SF)/200 SF = 17 SPACES RECD.
TOTALS:
 TOTAL SPACES RECD. = 110 SPACES
 TOTAL H/C SPACES RECD. = 5 SPACES
 EXISTING SPACES OF PARKING SPACES = 244 SPACES
 EXISTING H/C SPACES = 14 SPACES
 PROPOSED SPACES = 8 SPACES
 PROPOSED H/C SPACES = 2 SPACES
 TOTAL PROVIDED SPACES = 252 SPACES
 TOTAL PROVIDED H/C SPACES = 16 SPACES

GENERAL NOTES:
 1. SECONDARY INFORMATION DRAINAGE FROM SURVEY FOR CANTERBURY SCHOOLS BY MITCHELL AND ASSOCIATES, P.A. DATED 02/04/03 JOB NO. 933336.
 2. ELEVATION DATUM BASED UPON SANITARY SEWER INVERT AS SHOWN ON PLANS FOR CANTERBURY SCHOOL BY WILLIAM E. MITCHELL ASSOCIATES DATED MARCH 1993.
 3. WATER LINE LOCATION BASED UPON GREENSBORO CITY ASSESSMENT SHEET NO. 175 AND FIELD SURVEY.
 4. UTILITY INFORMATION AS SHOWN HERE ON WAS COMPILED BASED UPON SURFACE OBSERVABLE STRUCTURES. THIS PLAN DOES NOT NECESSARILY SHOW ALL UTILITIES IN THE SURVEY AREA. BEFORE PERFORMING ANY WORK CONTRACTOR SHOULD CONTACT ONE-CALL AT 811.
 5. PLANNING DETAIL IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED MAY 2017.
 6. THIS DOCUMENT IS NOT CONSIDERED A CERTIFIED SURVEY.
 7. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF GREENSBORO AND NCEC STANDARDS AND SPECIFICATIONS.
 8. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY THE UTILITY COMPANY TO BE OTHERWISE.
 9. CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY RELOCATION AND/OR REPAIR SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
 10. LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER N.C.B.C. AND BE AT THE SAME ELEVATION AS THE F.F.E. AND SHALL HAVE A MAX. SLOPE OF 2% IN ANY DIRECTION INCLUDING THE DIAGONAL.
 11. THERE IS AN EXISTING IRRIGATION SPRINKLER SYSTEM IN THE CONSTRUCTION AREA. SHUT OFF AND/OR PLUG EXISTING SPRINKLER COMPONENTS. COORDINATE THE REMOVAL AND/OR RELOCATION AT OWNERS DIRECTION.
 12. THE SLOPES IN THE HANDICAP PARKING SPACE/ACCESS ASLE AREA SHALL NOT EXCEED 2% IN ANY DIRECTION INCLUDING THE DIAGONAL.
 13. THERE SHALL BE NO DESIGNATED PEDESTRIAN ROUTES/SIDEWALKS WITHIN THE SITE, EXCEPT WHERE LABELED AS A RAMP WITH RAILS WHICH EXCEED A 5% SLOPE IN THE DIRECTION OF TRAVEL AND A 2% CROSS-SLOPE.
 14. THERE SHALL BE LEVEL TURNING AREAS (MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL) ON ALL SIDEWALKS WHERE AN INTERSECTING SIDEWALK CONNECTS WITH IT.
 15. ALL RETAINING WALLS >4' IN HEIGHT REQUIRE A BUILDING PERMIT FROM BUILDING INSPECTIONS.

LIGHTING NOTE:
 THERE ARE (2) PEDESTRIAN LIGHTS SHOWN ON BOTH SIDES OF THE ENTRANCE INTO THE PROPOSED BUILDING. SEE SHEET C311 FOR DETAIL. WHEN BUILDING PLANS ARE SUBMITTED FOR REVIEW, THEY WILL SUPPLY MORE DETAIL FOR THIS FEATURE. NO OTHER LIGHTING IS PROVIDED ON THIS PLAN. HOWEVER IT IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER TO SUBMIT A PLAN TO THE CITY SHOULD LIGHTING BE INSTALLED. PLAN MUST INDICATE AT A MINIMUM, FEATURE TYPE, POLE HEIGHT AND ANY FUTURE BUILDING LIGHTING FOR SECTION 30-9-8 IN THE GREENSBORO LAND DEVELOPMENT ORDINANCE. THE PROPOSED DEVELOPMENT COMPLETES WITH THE OUTDOOR LIGHTING STANDARDS OF THE ORDINANCE, INCLUDING COMPLIANCE WITH THE LIGHT TRIPASS REQUIREMENT IN SECTION 30-9-8.6.

BUILDING INSPECTION NOTES:
 1. ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.
 2. EXISTING DET RADIANCE ILLUMINATION/LIGHTING SHALL BE REMOVED FROM ALL EXIST DOORS TO THE PUBLIC WAY IN COMPLIANCE WITH NCEC 1000.
 3. THERE ARE EXISTING OVERHEAD UTILITY LINES THAT RUN ALONG OLD LAKE JEANETTE ROAD PROPERTY LINE (AS SHOWN). THERE ARE NO OVERHEAD UTILITY LINES WITHIN THIS PROJECT'S DEVELOPMENT AREA.



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 5400 OLD LAKE JEANETTE RD
 MOREHEAD TOWNSHIP, CITY OF GREENSBORO
 GUILFORD COUNTY, NORTH CAROLINA

Canterbury SCHOOL

DATE: NOVEMBER 13, 2019
 PROJECT # 1084.03
 FILE # Canterbury Library-Admin-CVIL30.dwg
 REVISIONS:
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SHEET OVERALL PLAN AND PHASING PLAN C1.2 of 8

