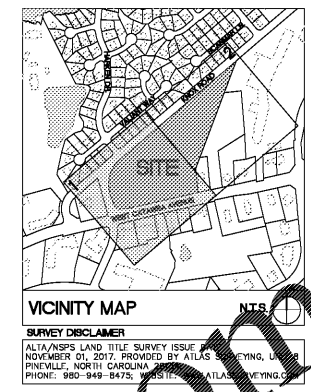
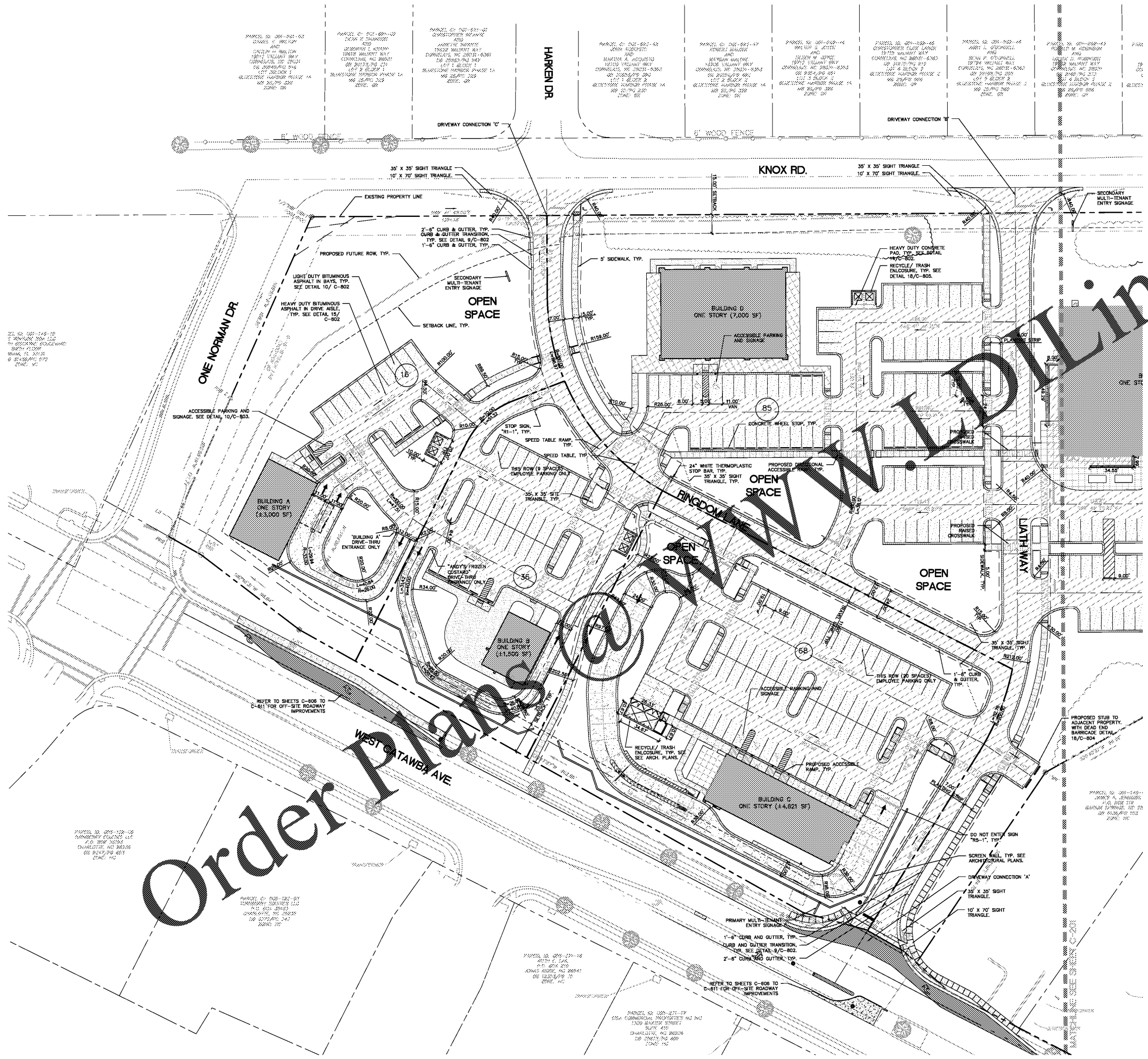


Order Plans



LEGEND

SYM.	DESCRIPTION	DETAIL
[Symbol]	PROPOSED SIDEWALK	2/C-802
[Symbol]	PROPOSED ACCESSIBLE RAMP	20/C-803
[Symbol]	PROPOSED DIRECTIONAL ACCESSIBLE RAMP	7/C-802
[Symbol]	PROPOSED ACCESSIBLE SPACE	10/C-803
[Symbol]	PROPOSED ACCESSIBLE SIGN	10/C-803
[Symbol]	LIGHT DUTY BITUMINOUS ASPHALT	10/C-802
[Symbol]	HEAVY DUTY BITUMINOUS ASPHALT	15/C-802
[Symbol]	HEAVY DUTY CONCRETE	14/C-802
[Symbol]	PROPOSED 1'-6" CURB & GUTTER	8/C-802
[Symbol]	PROPOSED 2'-6" CURB & GUTTER	8/C-802

ZONING CODE SUMMARY

PROJECT NAME: ONE NORMAN
 OWNER/APPLICANT: CHARTER REALTY & DEVELOPMENT CORP.
 JURISDICTION: TOWN OF CORNELIUS T.L., MECKLENBURG COUNTY, NC
 ZONING: HIGHWAY COMMERCIAL (HC)
 PARCEL ID: 001-14-509
 001-14-522
 EXISTING USE: VACANT
 PROPOSED USE: COMMERCIAL
 SITE ACREAGE: 11.039 AC
 ESTIMATED ROW TO BE ACQUIRED BY NCDOT: 408 AC
 TOTAL BUILDING SQUARE FOOTAGE: 38,721 SF
 WATERSHED PROTECTION HIGH DENSITY (LAKE NORMAN CA)
 MAX. ALLOWED IMPERVIOUS AREA: 5.52 AC (50%)
 PROPOSED IMPERVIOUS AREA: 5.52 AC (50%)

LOT AREAS
 LOT 1: 1.127 AC
 LOT 2: 0.903 AC
 LOT 3: 1.768 AC
 LOT 4: 6.838 AC

OPEN SPACE
 REQUIRED (20% OF SITE AREA): 2.13 AC
 PROPOSED TOTAL: 2.20 AC
 REQUIRED IMPROVED OPEN SPACE (50%): 1.10 AC
 PROPOSED IMPROVED OPEN SPACE: 1.10 AC

RETRAKES
 FRONT (WEST CATAWBA): 25'
 FRONT (ONE NORMAN/FUTURE KNOX): 10'
 SIDE: 30'
 REAR: 30'

ESTIMATED CONSTRUCTION DATE: 07/01/19

PARKING SUMMARY:
 LOT 1: 16 SPACES
 LOT 2: 36 SPACES
 LOT 3: 88 SPACES
 LOT 4: 147 SPACES
 TOTAL PROVIDED: 287 SPACES

ALL USES PERMITTED UNDER HC.

TREE PRESERVATION SUMMARY:
 TOTAL NUMBER OF TREES (18" OR GREATER): 53
 TREES TO REMAIN: 28
 TREES TO REMOVE: 27
 PERCENT OF TREES TO REMAIN: 49%

LIGHTING PER SECTION 7.5 OF TOWN OF CORNELIUS LAND DEVELOPMENT CODE.
 SEE SHEET C-201 FOR DIMENSION CONTROL NOTES.

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRIERS USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAYMENTS CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE-MECKLENBURG UTILITIES SPECIFICATIONS.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENDING STANDARDS, 29 CFR, PART 1926, SUBPART P, OR AS AMENDED.

ColeJenest & Stone

Shaping the Environment
 Realizing the Possibilities

Land Planning
 Landscape Architecture
 Civil Engineering
 Urban Design

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 Connecticut 06830

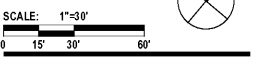
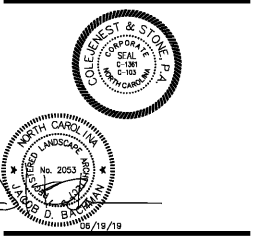
ONE NORMAN

20101 West Catawba Avenue
 Cornelius
 North Carolina 28031

DIMENSION CONTROL PLAN

Project No. 4493
 Issued 03/26/19

Revised



C-200

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