

PROJECT

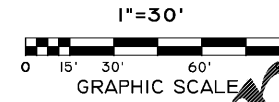


ENGINEER

REVISIONS

NO.	DATE	DESCRIPTION

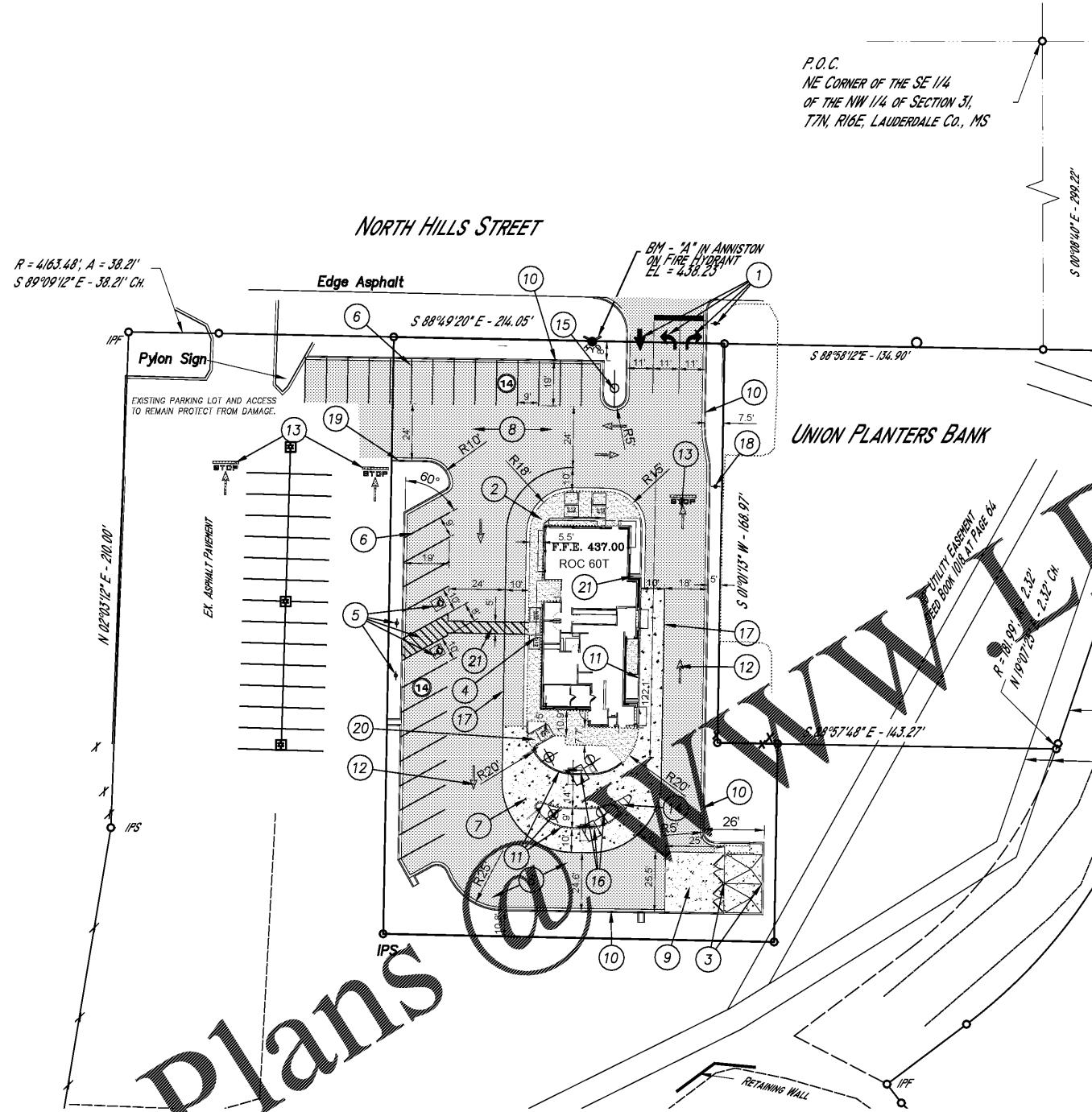
JOB NO: 19GPS01
FILE NAME: 19GPS01.DWG
DATE:
DRAWN: T.T.
CHECKED: DAR
SCALE: 1"=30'
SHEET C2



LAYOUT LEGEND

- STOP SIGN (R1-1) STOP SIGN WITH DIRECTIONAL ARROWS AND DOUBLE YELLOW CURB STRIPE REQ'D. SEE DETAIL.
- BUILDING SIDEWALK REQ'D. SEE ARCHITECTURAL PLANS FOR DETAILS.
- WASTEBASKET PAD REQUIRED. SEE ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
- ADA ACCESSIBLE RAMP REQ'D. SEE DETAIL.
- ACCESSIBLE SPACE, SYMBOL, AISLE, AND SIGN REQ'D. SEE DETAILS.
- 4" SOLID WHITE PAINT STRIPE REQ'D., TYPICAL.
- CONCRETE PAVING (DYED BLACK) REQ'D. SEE DETAIL.
- STANDARD DUTY ASPHALT PAVEMENT REQ'D. SEE DETAIL.
- HEAVY DUTY CONCRETE PAD REQ'D. SEE DETAIL.
- 18" CONCRETE CURB AND GUTTER REQUIRED. SEE DETAIL.
- 6" RIBBON CURB REQUIRED. SEE DETAIL.
- PAINTED DIRECTIONAL ARROW REQUIRED. SEE DETAIL - TYPICAL.
- PAINTED DIRECTIONAL ARROW AND 24" WIDE PAINTED STOP BAR REQUIRED. SEE DETAIL - TYPICAL.
- 4" SOLID YELLOW PAINT STRIPE @ 2' C.T.C. PAINT AT 45° TO TRAFFIC FLOW.
- PROPOSED LOCATION FOR PRIMARY IDENTIFICATION SIGN.
- TENANT OVERHEAD CLEARANCE BAR, MENU BOARD, ORDER STATION, DETECTOR LOOP, ETC. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 6" SOLID YELLOW PAINT STRIPE REQ'D., TYPICAL.
- "ONE WAY" - DO NOT ENTER SIGN REQUIRED.
- TAPER BACK OF CURB FROM 6" TO 0" IN 6 FEET.
- RAMP TYPE 2 REQUIRED. SEE DETAIL.
- PAINTED CROSSWALK REQUIRED. SEE DETAIL.

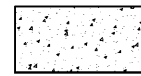
P.O.C.
NE CORNER OF THE SE 1/4
OF THE NW 1/4 OF SECTION 31,
T7N, R16E, LAUDERDALE CO., MS



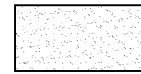
Order Plans

SITE LAYOUT NOTES

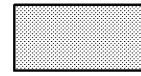
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO FACE OF CURB, OR EDGE OF SURFACING.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, ALL UTILITY TIE-INS, BOLLARD LOCATIONS AND OTHER RELATED INFORMATION.
- DIRECTIONAL ARROWS AND PARKING SPACES STRIPING SHALL BE WHITE. ACCESSIBLE PARKING STRIPING AND SYMBOL SHALL BE BLUE UNLESS LOCAL CODES INDICATE OTHERWISE.
- ALL EDGE OF PAVEMENT RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL SIGNS SHALL CONFORM TO ADA, CITY AND STATE REQUIREMENTS.
- THE CONTRACTOR SHALL REFER TO TENANT BUILD-OUT PLANS FOR EXACT LOCATIONS OF MENU BOARD, OVERHEAD CLEARANCE BAR, DETECTOR LOOP, DIRECTIONAL SIGNAGE, ETC.
- THE CONTRACTOR SHALL NOT ALLOW CONSTRUCTION TRAFFIC, STAGING ETC. TO INTERFERE WITH THE DAY TO DAY OPERATIONS OF THE EXISTING ADJACENT BUSINESSES.
- THE CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS TO THE SITE FOR EMERGENCY VEHICLES AT ALL TIMES.
- THE CONTRACTOR SHALL SECURE ALL CITY REQUIRED BONDS PRIOR TO BEGINNING ANY WORK.



CONCRETE PAVING



SIDEWALK



STANDARD DUTY ASPHALT PAVING

SITE DATA TABLE

PROPERTY AREA= 0.84 ACRES AC.

ZONING:
B-3 GENERAL BUSINESS DISTRICT

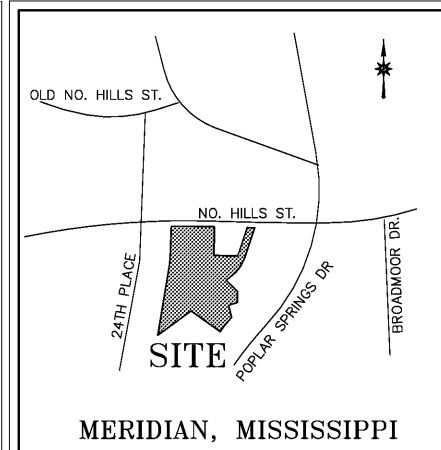
LAND USE
CURRENT: RESTAURANT / PARKING
PROPOSED: DRIVE THRU RESTAURANT - 2,980 SF

BUILDING SETBACKS:
FRONT = NONE SPECIFIED
REAR = NONE SPECIFIED
SIDE = 15' MINIMUM

SITE PARKING DATA

PARKING REQUIRED: 1 SPACE FOR EACH 200 SF OF FLOOR AREA OR 2,763 / 200 = 14 STALLS.

PARKING PROVIDED: 24 STALLS INCLUDING 2 HANDICAPPED STALLS



MERIDIAN, MISSISSIPPI

VICINITY MAP_{NTS}