

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (except 1 and 2 family dwellings and townhouses)

PROJECT NAME

NAME OF PROJECT: FACTORY AT CRABTREE APARTMENTS
 ADDRESS: 2225, 2235, 2245 & 2255 CHARLES DRIVE, RALEIGH, NC ZIP CODE: 27612
 OWNER / AUTHORIZED AGENT: CHARLES WATTS PHONE # 704 560 4001 E-MAIL cwatts@wattsleaf.com
 OWNED BY: CITY/COUNTY PRIVATE STATE
 CODE ENFORCEMENT JURISDICTION: CITY RALEIGH COUNTY WAKE STATE

CONTACT:

DESIGNER	NAME/FIRM	LICENSE #	TELEPHONE #	E-MAIL
ARCHITECTURAL	CHARLES WATTS ARCHITECTS	4586	704 376 1200	cwatts@wattsleaf.com
CIVIL				
ELECTRICAL	GREG ANDREWS MECHANICAL	26004	704 688 9320	greg.andrews@cmeplc.com
FIRE ALARM				
PLUMBING	GREG ANDREWS MECHANICAL	26004	704 688 9320	greg.andrews@cmeplc.com
MECHANICAL	GREG ANDREWS MECHANICAL	26004	704 688 9320	greg.andrews@cmeplc.com
SPRINK, STANDPIPE				
STRUCTURAL	FATH OKTEN STRUCTURAL CONSULTING GROUP	44884	678 513 4242	fokten@scg-atl.com
RETAINING WALLS >5'H				
POST TENSIONED SLAB				
PRE-FAB WOOD TRUSS				
OTHER				

(OTHER SHOULD INCLUDE FIRMS AND INDIVIDUALS SUCH AS TRUSS, PRECAST, PRE-ENGINEERED, INTERIOR DESIGNERS, ETC.)

2018 NC BUILDING CODE: NEW BUILDING ADDITION 1ST TIME INTERIOR COMPLETIONS
 SHELL/CORE* PHASED CONSTRUCTION*
 *CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS.

2018 NC EXISTING BUILDING CODE: PRESERVATIVE ALTERATION LEVEL I HISTORIC PROPERTY (CHECK ALL THAT APPLY)
 REPAIR ALTERATION LEVEL II CHANGE OF USE
 CHAPTER 14 ALTERATION LEVEL III

CONSTRUCTED: (DATE) _____ CURRENT OCCUPANCY(S): (CH. 3) _____
 RENOVATED: (DATE) _____ PROPOSED OCCUPANCY(S): (CH. 3) _____
 OCCUPANCY CATEGORY: (TABLE 1604.5) CURRENT: _____ PROPOSED: _____

BASIC BUILDING DATA:

CONSTRUCTION TYPE: I-A I-B II-A II-B III-A III-B IV V-A V-B

SPRINKLERS: NO PARTIAL NFPA 13 NFPA 13R NFPA 13D

STANDPIPES: NO CLASS I II III WET DRY

PRIMARY FIRE DISTRICT: NO YES FLOOD HAZARD AREA: NO YES

SPECIAL INSPECTIONS REQUIRED: NO YES
 IF SPECIAL INSPECTIONS ARE REQUIRED, CONTACT THE LOCAL INSPECTION JURISDICTION FOR ADDITIONAL PROCEDURES AND REQUIREMENTS.

GROSS BUILDING AREA TABLE:

FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	SUB-TOTAL
5TH FLOOR	-	-	-
4TH FLOOR	-	??,???	??,???
3RD FLOOR	-	18,475	18,475
2ND FLOOR	-	20,035	20,035
MEZZANINE	-	-	-
1ST FLOOR	-	20,035	20,035
BASEMENT	-	20,035	20,035
SUB BASEMENT	-	14,769	14,769
TOTAL	-	??,???	??,???

ALLOWABLE AREA

PRIMARY OCCUPANCY:
 ASSEMBLY A-1 A-2 A-3 A-4 A-5
 BUSINESS
 EDUCATIONAL
 FACTORY F-1 MODERATE F-2 LOW
 HIGH-HAZARD H-1 DETONATE H-2 DEFLAGRATE H-3 COMBUSTIBLE LIQUID H-4 HEALTH HAZARDOUS
 INSTITUTIONAL I-1 I-2 I-1 & I-2 CONDITION I-3 I-4 I-3 USE CONDITION I-1 I-2 I-3 I-4
 MERCANTILE
 RESIDENTIAL R-1 R-2 R-3 R-4
 STORAGE S-1 MODERATE S-2 HIGH-PILING S-3 USE CONDITION S-1 S-2 S-3
 UTILITY AND MISC.
 ACCESSORY OCCUPANCY CLASSIFICATION(S): _____
 INCIDENTAL USES (TABLE 509): _____
 SPECIAL USES (CHAPTER 4 - LIST CODE SECTIONS): _____
 SPECIAL PROVISIONS (CHAPTER 5 - LIST CODE SECTIONS): _____
 MIXED OCCUPANCY: NO YES SEPARATION: _____ 3 HR. EXCEPTION: _____ 509.4
 NON-SEPARATED USE (508.3)
 SEPARATED USE (508.4) SEE BELOW FOR AREA CALCULATIONS FOR EACH STORY. THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1.
 ACTUAL AREA OF OCCUPANCY A _____ + ACTUAL AREA OF OCCUPANCY B _____ <= 1
 ALLOWABLE AREA OF OCCUPANCY A _____ + ALLOWABLE AREA OF OCCUPANCY B _____ <= 1

ALLOWABLE AREA CONTINUED

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE PER STORY OR UNLIMITED ^{2,3}
LEV. 277.00	S-2 PARKING	14,769	39,000	-	39,000
LEV. 288.69	S-2 PARKING	20,035	39,000	-	39,000
LEV. 300.37	S-2 PARKING	20,035	39,000	-	39,000
LEV. 312.05	S-2 PARKING	20,035	39,000	-	39,000
LEV. 323.75	S-2 PARKING	18,475	39,000	-	39,000
TOTAL					

¹FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTER THUS:
 a. PERMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET MINIMUM WIDTH = _____ (F)
 b. TOTAL BUILDING PERIMETER = _____ (P)
 c. RATIO (F/P) = _____ (F/P)
 d. W - MINIMUM WIDTH OF PUBLIC WAY = _____ (W)
 e. PERCENT OF FRONTAGE INCREASE = 100(F/P - 0.25) X W/30 = _____ (%)
²UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTION 507.
³MAXIMUM BUILDING AREA - TOTAL NUMBER OF STORIES IN THE BUILDING X D (MAXIMUM 3 STORIES) (506.2).
⁴THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH TABLE 406.5.4. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH TABLE 412.1.1.
⁵FRONTAGE INCREASE IS BASED ON THE UNSPRINKLERED AREA VALUE IN TABLE 506.2.

ALLOWABLE HEIGHT

TYPE OF CONSTRUCTION	ALLOWABLE HEIGHT	SHOWN ON PLANS	CODE REFERENCE
BLDG. HT. IN FEET (TABLE 504.3)	2A	2A	
BLDG. HT. IN STORIES (TABLE 504.4)	85' (SPRINK.)	69'-9 1/2'	
	6' (SPRINK.)	6	

¹PROVIDE CODE REFERENCE IF THE "SHOWN ON PLANS" QUANTITY IS NOT BASED ON TABLE 504.3 OR 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RAILING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
STRUCTURAL FRAME INCLUDING COLUMNS, BRIDERS, TRUSSES		1 HR					
BEARING WALLS		0					
EXTERIOR		0					
NORTH		1 HR					
EAST		1 HR					
WEST		1 HR					
SOUTH		1 HR					
INTERIOR		1 HR					
NONBEARING WALLS AND PARTITIONS		0					
EXTERIOR WALLS		0					
NORTH		0					
EAST		0					
WEST		0					
SOUTH		0					
INTERIOR WALLS AND PARTITIONS		0					
FLOOR CONSTRUCTION INCL. SUPPORTING BEAMS & JOISTS		0					
FLOOR CEILING ASSEMBLY		0					
COLUMNS SUPPORTING FLOORS		0					
ROOF CONSTRUCTION INCL. SUPPORTING BEAMS AND JOISTS		0					
ROOF CEILING ASSEMBLY		0					
COLUMNS SUPPORTING ROOF		0					
SHAFT ENCLOSURES - EXIT		N/A					
SHAFT ENCLOSURES		N/A					
CORRIDOR SEPARATION		N/A					
CEILING		N/A					
OCCUPANCY SEPARATION		N/A					
CITY FIRE SEPARATION		N/A					
SMOKE BARRIER SEPARATION		N/A					
SMOKE PARTITION		N/A					
TENANT DWELLING UNIT SLEEPING UNIT SEPARATION		N/A					
ESSENTIAL USE SEPARATION		N/A					

INDICATE SECTION NUMBER PERMITTING REDUCTION

PERCENTAGE OF WALL OPENING CALCULATIONS

(TABLE 705.8)

DIRECTION	FIRE SEPARATION DISTANCE (FT)	DEGREE OF OPENINGS PROTECTIONS (705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH				
WEST				
SOUTH				
EAST				

LIFE SAFETY SYSTEM REQUIREMENTS

EMERGENCY LIGHTING	<input type="checkbox"/> NO <input type="checkbox"/> YES
EXIT SIGNS	<input type="checkbox"/> NO <input type="checkbox"/> YES
FIRE ALARM	<input type="checkbox"/> NO <input type="checkbox"/> YES
SMOKE DETECTION SYSTEMS	<input type="checkbox"/> NO <input type="checkbox"/> YES
CARBON MONOXIDE DETECTION	<input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> PARTIAL _____

LIFE SAFETY PLAN REQUIREMENTS (N/A)

LIFE SAFETY PLAN SHEET #:

FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7) N/A
 ASSUMED AND REAL PROPERTY LINE LOCATIONS (IF NOT ON SITE PLAN) N/A
 EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8) N/A
 OCCUPANCY USE FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)
 OCCUPANT LOADS FOR EACH AREA
 EXIT ACCESS TRAVEL DISTANCES (1017)
 COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1006.3.2(1))
 HEAD END LENGTHS (1020.4) N/A
 CLEAR EXIT WIDTHS FOR EACH EXIT DOOR
 MAX. CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.3)
 ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
 A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION N/A
 LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10) N/A
 LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7) N/A
 LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.9) N/A
 LOCATION OF DOORS WITH HOLD-OPEN DEVICES N/A
 LOCATION OF EMERGENCY ESCAPE WINDOWS (1030) N/A
 THE SQUARE FOOTAGE OF EACH FIRE AREA (202) N/A
 THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION 1.2 (407.3) N/A
 NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
-	-	-	-	-	-	-	-

ACCESSIBLE DWELLING UNITS - ENTIRE SITE (SECTION 1107) N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
-	-	-	-	-	-	-	-

(OVERALL SITE COUNT - SEE PLAN FOR TYPE A LOCATION)

ACCESSIBLE PARKING (SECTION 1106) EXISTING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES	REGULATORY WITH ACCESS AISLE	VAN SPACES WITH 8' ACCESS AISLE	ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE PROVIDED
					2

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

EXISTING - UPDATE EXISTING WC & LAVS

SPACE	EXISTING	NEW	REQUIRED	WATER CLOSETS			LAVATORIES			SHOWERS/TUBS	DRINKING FOUNTAINS	
				MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE

NO CHANGE PLUMBING FIXTURES

SPECIAL APPROVALS

(LOCAL JURISDICTION, NC DEPARTMENT OF INSURANCE, OSC, DPI, DHHS, ETC., DESCRIBE BELOW)

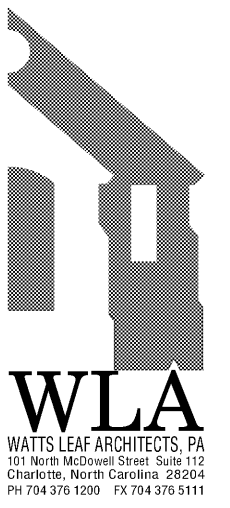
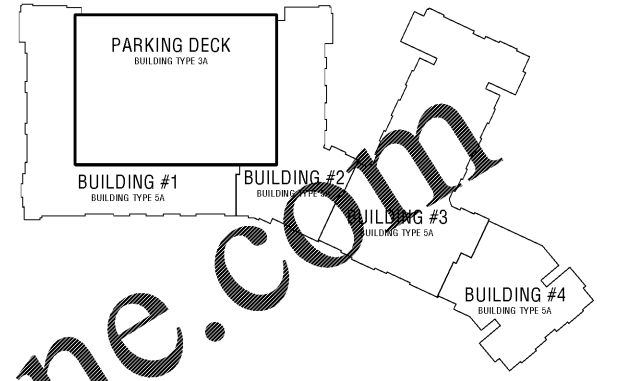
ENERGY SUMMARY

ENERGY REQUIREMENTS:
 THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE ENERGY CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST FOR THE STANDARD REFERENCE DESIGN VS ANNUAL ENERGY COST FOR THE PROPOSED DESIGN.
 EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: (IF CHECKED THE REMAINDER OF THIS SECTION IS NOT APPLICABLE)
 EXEMPT BUILDING: (PROVIDE CODE OR STATUTORY REFERENCE)
 CLIMATE ZONE: 3A 4A 5A
 METHOD OF COMPLIANCE:
 ENERGY CODE ASHRAE 90.1 PERFORMANCE PRESCRIPTIVE
 OTHER PERFORMANCE (SPECIFY SOURCE)

STRUCTURAL DESIGN
NOT APPLICABLE

MECHANICAL DESIGN
SEE NOTES ON M1.1

ELECTRICAL DESIGN
SEE NOTES ON E1.1



CRABTREE NORTH APTS.
 2251 Charles Drive
 Raleigh, North Carolina
 EYC COMPANIES

PROJECT	1915
DATE	19NOV19
DRAWN BY	WJP
CHECKED BY	CMW
CODE SUMMARY - GARAGE BUILDING	
A0.06	