

# PRELIMINARY PLANS

FOR

# ENCORE REAL ESTATE

FDOT ACCESS PERMIT #2019-A-192-00061  
FDOT DRAINAGE PERMIT #2019-D-192-00048

**LOCATION OF SITE**  
28100 S TAMiami TRAIL  
BONITA SPRINGS, FL 34134  
LEE COUNTY, FLORIDA  
PARCEL ID NUMBER: 00 027 3000

**CONTACT INFORMATION**

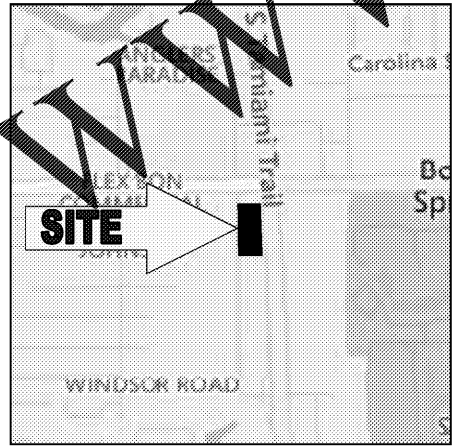
**REFERENCES**

- BOUNDARY & TOPOGRAPHICAL SURVEY:  
AGNOLI BARBER & BRUNDAGE, INC.  
7400 TRAIL BLVD., SUITE 200  
NAPLES, FLORIDA 34108  
DATED: 04/07/2017

**GOVERNING AGENCIES**

- BONITA SPRINGS UTILITIES, INC**  
DOMINIC M. STROLLO II  
1100 E. TERRY STREET  
BONITA SPRINGS, FL 34135  
(239) 390-4973
- SOUTH FLORIDA WATER MANAGEMENT DISTRICT**  
CARLOS DE ROJAS  
3301 GUN CLUB ROAD  
WEST PALM BEACH, FL 33406  
(561) 686-8800
- BONITA SPRINGS PLANNING & ZONING**  
MARY ZIZO  
8220 BONITA SPRINGS ROAD, SUITE 111  
BONITA SPRINGS, FL 34135  
(239) 444-6150
- FLORIDA DEPARTMENT OF TRANSPORTATION**  
RANDY WENG  
2981 NE FINE ISLAND ROAD  
CAPE CORAL, FLORIDA 33909  
(239) 985-7810

**LEGAL DESCRIPTION**  
A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 1 (ALSO REFERRED TO AS THE NORTHEAST QUARTER (NE-1/4) OF THE NORTHEAST QUARTER (NE-1/4), SECTION 4, TOWNSHIP 48 S, RANGE 72 E, LEE COUNTY, FLORIDA, WHICH TRACT OR PARCEL IS DESCRIBED AS FOLLOWS:  
FROM THE NORTHWEST CORNER OF SAID GOVERNMENT LOT AND SAID FRACTION TO THE SOUTH 00° 48' EAST ALONG THE WEST LINE OF SAID LOT AND SAID FRACTION FOR 637.17 FEET; THENCE DEPARTING SOUTH 91° 15' EAST ALONG BEAUMONT ROAD (66 FEET WIDE) AND THE POINT OF BEGINNING.  
FROM SAID POINT OF BEGINNING CONTINUE SOUTH 89° 55' 42" EAST ALONG A LINE 207.99 FEET TO THE INTERSECTION OF SAID BEAUMONT ROAD AND A PERPENDICULAR AND PARALLEL WITH THE NORTH LINE OF SAID BEAUMONT ROAD AS MEASURED ON A PERPENDICULAR AND PARALLEL WITH THE NORTH LINE OF SAID BEAUMONT ROAD AS RECORDED IN OFFICIAL RECORD BOOK 536 AT PAGE 876, LEE COUNTY RECORDS FOR 62.41 FEET MORE OR LESS TO AN INTERSECTION WITH THE CURVED WESTERLY LINE OF SAID BEAUMONT ROAD AS RECORDED IN OFFICIAL RECORD BOOK 536 AT PAGE 752, LEE COUNTY RECORDS; THENCE RUN NORTHERLY ALONG SAID BEAUMONT ROAD TO A CURVE TO THE LEFT OF RADIUS 34,277.47 FEET (CHORD BEARING NORTH 04° 25' 22" EAST, CHORD BEARING DELTA 00° 20' 10") FOR SAID 201.04 FEET MORE OR LESS TO STATION 243+24.98 AS DESCRIBED IN SAID DEED; THENCE RUN SOUTH 85° 24' 27" WEST ALONG A RADIAL LINE FOR 5 FEET TO THE WESTERLY LINE OF SAID BEAUMONT ROAD (210 FEET WIDE); THENCE CONTINUE NORTHERLY ALONG SAID WESTERLY LINE OF SAID BEAUMONT ROAD TO THE LEFT OF RADIUS 34,272.47 FEET (CHORD BEARING NORTH 04° 41' 48" WEST, CHORD BEARING DELTA 00° 12' 52") FOR 124.60 FEET TO A POINT OF TANGENCY AT STATION 243+24.98 FEET; THENCE CONTINUE NORTH 04° 48' 00" WEST ALONG SAID WESTERLY LINE FOR 170.38 FEET TO THE SOUTHERLY MOST POINT (STATION 243+24.98) OF A TRIANGULAR RIGHT-OF-WAY PARCEL AS DESCRIBED IN SAID DEED; THENCE RUN NORTH 48° 11' 20" WEST ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL FOR 95.84 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF INTERSECTION RIGHT-OF-WAY AS DESCRIBED IN SAID DEED; THENCE RUN SOUTH 89° 14' 12" WEST ALONG SAID SOUTH LINE FOR 143.88 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF THAT PARCEL DESCRIBED IN O.R. BOOK 2211, PAGE 1962, PUBLIC RECORDS OF LEE COUNTY; THENCE SOUTH 0° 37' 17" EAST ALONG THE EASTERLY LINE OF THE AFORESAID PARCEL A DISTANCE OF 300.00 FEET TO THE SOUTHEASTLY CORNER OF THE AFORESAID PARCEL;  
THENCE SOUTH 89° 14' 12" WEST ALONG THE SOUTHERLY LINE OF THE AFORESAID PARCEL A DISTANCE OF 00.00 FEET TO AN INTERSECTION WITH THE AFOREMENTIONED EASTERLY LINE OF BEAUMONT ROAD; THENCE SOUTH 0° 37' 17" EAST ALONG THE AFOREMENTIONED EASTERLY LINE A DISTANCE OF 282.48 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.  
CONTAINING 3.139± ACRES OF LAND MORE OR LESS,  
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



LOCATION MAP  
SCALE: 1" = 1000'

**OWNER**  
WALGREENS CO. C/O RE TAX DEPT.  
STORE #165  
PO BOX 1150  
DEERFIELD, IL 60015

**DEVELOPER**  
ENCORE REAL ESTATE  
100 MAIN STREET - SUITE 302  
SAFETY HARBOR, FL 34656  
PATRICK BURDOWNS  
(727) 216-6364

PREPARED BY  
**BOHLER ENGINEERING**

3820 NORTHDAL BLVD., SUITE 300B  
TAMPA, FLORIDA 33624  
Phone: (813) 812-4100  
Fax: (813) 812-4101  
[BohlerEngineering.com](http://BohlerEngineering.com)  
CONTACT: GREGORY R. ROTH, P.E.

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**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 66340  
FLORIDA PROFESSIONAL LAND SURVEYOR LICENSE NO. 35421

REVISIONS

REV	DATE	COMMENT	BY

811

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NOT APPROVED FOR  
CONSTRUCTION

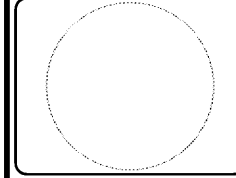
PROJECT NO.: FLB180133  
DRAWN BY: L.J.L.  
CHECKED BY: J.S.  
DATE: 01/27/2020  
SCALE: AS SHOWN  
CAD I.D.: S.D.O.

PROJECT:  
**ENGINEERING PLANS**  
FOR  
**ENCORE REAL ESTATE**

LOCATION OF SITE  
28100 S TAMiami TRAIL  
BONITA SPRINGS, FL 34134  
LEE COUNTY, FLORIDA

**BOHLER ENGINEERING**

3820 NORTHDAL BLVD., SUITE 300B  
TAMPA, FLORIDA 33624  
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FLORIDA BUSINESS CERT. OF AUTH. NO. 30790  
LANDSCAPE ARCHITECT BUSINESS LICENSE NO. C20000001



SHEET TITLE:  
**COVER**

SHEET NUMBER:  
**C-101**