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HILTON GARDEN INN
BUFORD, GEORGIA
MALL OF GEORGIA BLVD &
WOODWARD CROSSING BLVD

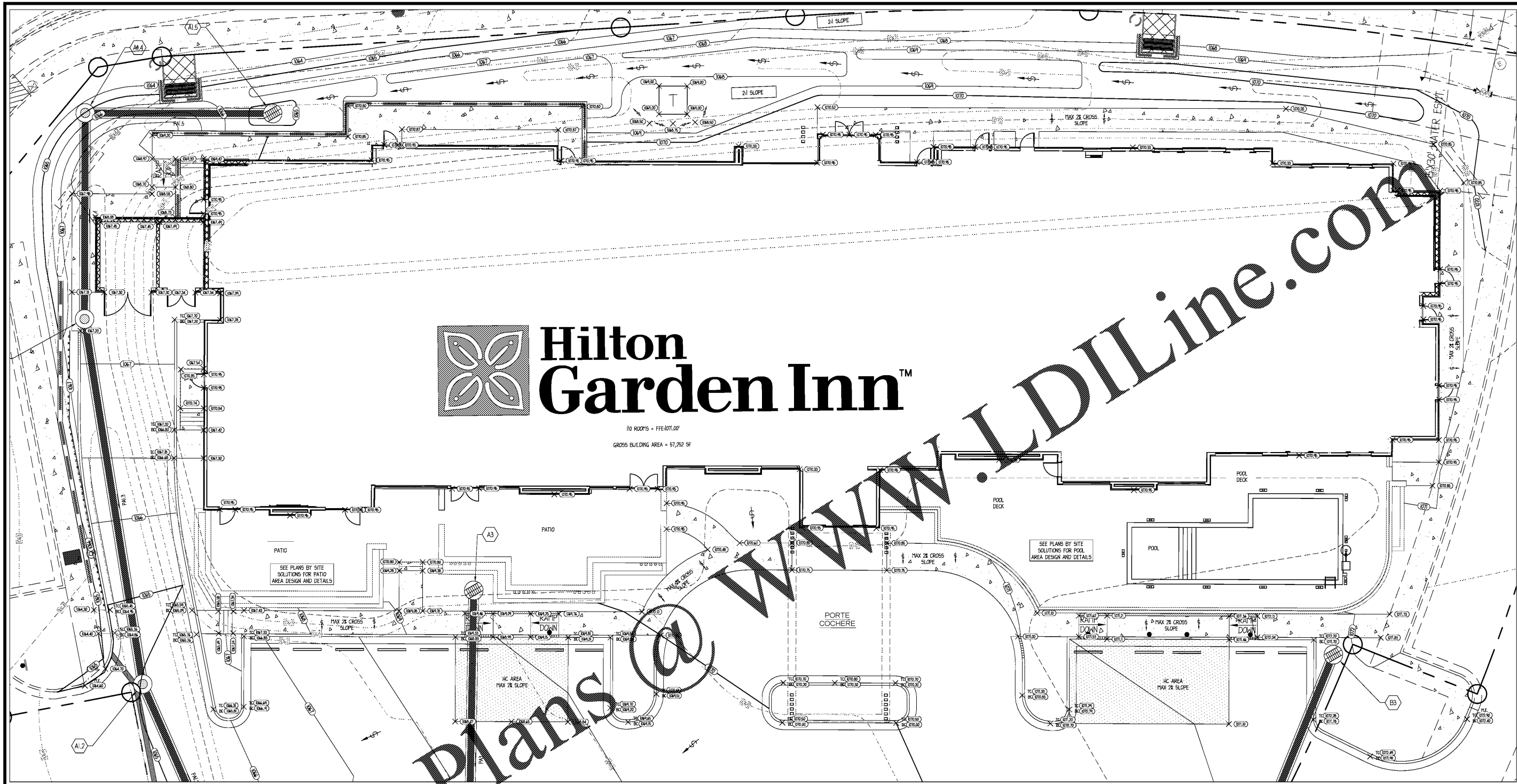


CLIENT:
PHG BUFORD, LLC
3500 LENOX ROAD, SUITE 625
ATLANTA, GEORGIA 30326
PHONE: (404) 497-4111

REVISION HISTORY	
01/22/2019	DESIGN DEVELOPMENT PLANS
02/21/2019	FOR CONSTRUCTION OCCUPANCY PLANS
03/23/2019	CITY CIVIL PLANS
01/20/2020	PERMIT SET

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PROJ #	180660
DWG NAME	180660_C05.DWG
ISSUE DATE	01/20/2020
PROJ MGR	EF
BUILDING AREA GRADING DETAIL	
C05.1	
SHEET NUMBER	



Hilton Garden Inn™

10 ROOMS = FFE107.00'
GROSS BUILDING AREA = 57,252 SF

- ### GWINNETT COUNTY GRADING & DRAINAGE NOTES
- A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION FOR EACH SITE RETAINING WALL WHICH EITHER EXCEEDS FOUR (4) FEET HEIGHT WHICH HAS A BACKFILL SLOPE GREATER THAN ONE (1) FOOT RISE IN THREE (3) FEET HORIZONTAL AND FOR EACH DETENTION POND WALL (DPM). A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY GWINNETT COUNTY FOLLOWING INSPECTIONS SECTION FOR SITE WALLS PRIOR TO ISSUANCE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON THE SITE AND PRIOR TO AUTHORIZATION OF THE FINAL SUBDIVISION.
 - ALL SHM UTILITIES ARE TO BE INSPECTED BY THE DEPARTMENT OF WATER RESOURCES.
 - THERE ARE NO STREAM BUFFERS ON THIS SITE.
 - ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-493. THE PIPES SHALL BE IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1035-D, GEORGIA DOT SPECIFICATIONS. TABLE NO. 1035-1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
 - ALL STORM SEWER PIPES AND CULVERTS SHALL BE INSTALLED PER THE GWINNETT COUNTY STANDARD SPECIFICATIONS AND FACTORS TO INSTALLATION STANDARDS AND SPECIFICATIONS JULY 28, 2006 EDITION (SSPSS).
 - ALL INSTALLATIONS ARE SUBJECT TO INSPECTION BY GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES (COWR). ALL PERMISSIBLE CULVERTS SHALL BE BEDDED AS REQUIRED BY THE SSPSS.
 - WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL HAS READ AND CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED AND, 2) THE APPROPRIATE PLAN SHEET DOES NOT INDICATE AREAS OF THE ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS A SHOWING THE NATIONAL WETLAND INVENTORY MAPS AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS OPERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
 - COMMERCIAL-GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT OF WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. GWINNETT COUNTY DOES NOT ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT OF WAY.
 - SOURCE OF TOPOGRAPHY IS NGVD 1988 AND REFERENCE DATUM IS NGVD 1988.
 - MAXIMUM SLOPE FOR CUT & FILL IS 3% EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3%.
 - ALL MATERIAL CERTIFICATIONS AND CONSTRUCTION TESTS SPECIFIED IN THE SSPSS SHALL BE PROVIDED TO GCOMR MONTHLY.
 - ALL RESISTIVITY TESTS, pH TESTS AND ALL OTHER TESTS SPECIFIED IN THE SSPSS SHALL BE PROVIDED TO GCOMR PRIOR TO PIPE OR CULVERT INSTALLATION.
 - DEVELOPER IS TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
 - DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY CONSTRUCTION OR GRADING.
 - A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK IS TO BE MAINTAINED ADJACENT TO ALL STREAMS.
 - A REVISION TO THE EC PLAN IS REQUIRED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, THAT WILL HAVE A SIGNIFICANT EFFECT ON BRPS WITH A HYDRAULIC COMPONENT, OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING POLLUTANT DISCHARGE.
 - NON-EARTHEN POND DAM STRUCTURES SHALL BE MONOLITHIC WALLS SHALL EXTEND FROM THE TOE OF EARTHEN FILL SLOPE INTO THE POND'S EMBANKMENT A DISTANCE 4 TIMES THE DEPTH OF THE 100 YEAR PONDING LIMITS.

- ### GRADING & DRAINAGE NOTES
- SEE SHEET C01 FOR GENERAL NOTES AND LEGEND.
 - SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
 - SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%.
 - MAXIMUM CUT OF FILL SLOPES IS 3:1H.
 - THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FOR THE REQUIRED EXCAVATION ON THE SITE.
 - ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 90 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 100 PERCENT. COMPACTOR MUST BE CERTIFIED BY A GEORGIA REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
 - DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (4) SIX TIMES THE DIAMETER OF THE PIPE.
 - JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAN VIEW FROM A PUBLIC ROAD OR STREET.

- ### BUILDING AREA NOTES
- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION; I.E. IN TIMES OF RAIN OR MUD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA III 3-1).
 - CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
 - SEE SHEET C01 FOR GENERAL NOTES.

HYDROLOGY STATEMENT

PER THE ARISTON DEVELOPMENT PLANS, THE PROPOSED HILTON GARDEN INN SITE MAKES UP THE COMPLETE PHASE II WITHIN THE DEVELOPER'S PLANS IT STATES THAT 147 OF THE TOTAL 184 ACRES CAN BE IMPERVIOUS. THEREFORE, THE HILTON GARDEN INN SITE WILL BE DESIGNED TO MEET THE 50% IMPERVIOUS LIMITATION IN THE PROPOSED CONDITION. THE SITE WILL HAVE 1.36 ACRES OF IMPERVIOUS COVERAGE. THEREFORE, THE DESIGN OF THE HILTON GARDEN INN SITE IS IN CONFORMANCE WITH THE PREVIOUSLY DESIGNED IMPERVIOUS AREA.

THE HILTON GARDEN INN'S ON-SITE CONVEYANCE SYSTEM WILL TIE TO INSTALLED CONVEYANCE SYSTEM AS SHOWN ON ARISTON APARTMENT DEVELOPMENT PLANS BY HANCASTER ASSOCIATES, INC., DATED 05/24/2018. SPECIFICALLY, THE PIPES WILL TIE TO STRUCTURE 48, AS A STARTING HGL FOR THE HILTON GARDEN INN CONVEYANCE SYSTEM, THE HGL ELEVATION OF 1055.38' AS SHOWN AT STRUCTURE 48 ON THE AFOREMENTIONED PLANS. PIPES HAVE BEEN SIZED TO ADEQUATELY HANDLE THE 25 YEAR STORM EVENT. FURTHERMORE, INLET CAPACITIES HAVE BEEN ANALYZED FOR THE 100 YEAR EVENT.

STORM WATER MANAGEMENT FOR THIS SITE IS PROVIDED OFF-SITE IN PROJECT NAMED ARISTON APARTMENTS WITH CASE NUMBER MDP2019-00008

CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.

TOTAL WETLANDS ACRES ON SITE ARE 0.0 ACRES.

ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPES'S TOE.

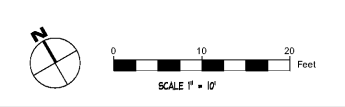
THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.

THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13195C0035F, DATED 09/29/2006. FLOODPLAIN SHOWN ON SHEET C01 IS FROM FIRM PANEL 13195C0035F, DATED 09/29/2006.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
GREG FOX
(404) 754-8842



GWINNETT COUNTY PROJECT NUMBER:
CDP2019-00259