

HELZBERG DIAMONDS

MALL OF GEORGIA
3333 BUFORD DR, SUITE 2070C
BUFFORD, GEORGIA 30519
STORE 211



8613 PENROSE LANE, SUITE 400 • LEXENA, KS 68219
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THE ARCHITECT ASSUMES responsibility for the existing building structure, site conditions, existing construction elements, or any drawings, drawings or other information used by city and county officials which do not bear the Architect's seal. The Architect's services are limited only to the extent of the Project. No obligation is assumed by the Architect for the benefit of any other entity.

RELATED DOCUMENTS: This drawing is a single component of an integrated set of Construction Documents, General and Supplementary Conditions of the Contract, General Requirements, Specifications and other drawings as stated in the Work Schedule. Failure to review and integrate the design intent of the whole of its Construction Documents may not release the Contractor from providing a complete Project.

COMPLY WITH all laws, codes, ordinances and regulations with authority having jurisdiction and with requirements of the Contract. It is the Contractor's responsibility to obtain all permits and approvals for the Project. COMMENCEMENT OF WORK constitutes verification and acceptance of all existing conditions. Application of a material or equipment item is held liable by others candidate acceptance of that Work, and assumption of responsibility for satisfactory installation.

DIMENSIONS SHOWN are to finish face of a material unless otherwise indicated.

CONTRACTOR'S NOTES: While dimensions and references are stated throughout, do not scale the drawings. The contractor shall verify all dimensions and conditions and dimensions before starting work. Report any discrepancies of any drawings and conditions to the Architect in writing immediately. The contractor shall be responsible for obtaining all necessary permits and approvals for the Project. The contractor shall be responsible for obtaining all necessary permits and approvals for the Project.

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BUFFORD, GEORGIA 30519

project number 19007.019

drawing issuance OWNER/PERMIT/BD 1.7.20

drawing revisions

Date	Description

professional seal

drawing title COVER SHEET # INDEX

drawing number

CVR

MATERIALS LEGEND:

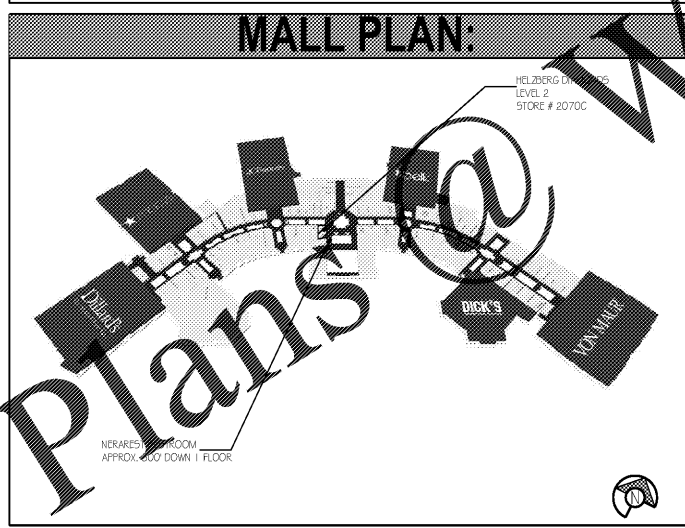
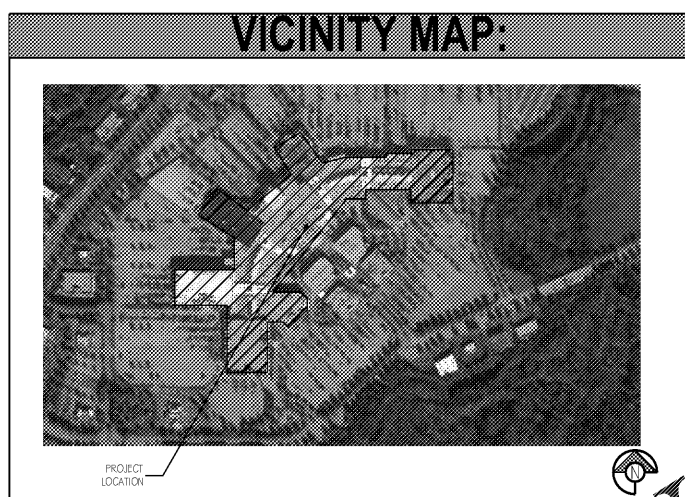
BRICK	FINISH WOOD	CONCRETE BLOCK	BATT INSULATION
CONCRETE	PLYWOOD	EARTH	GYPSUM BOARD
GRAVEL	STEEL	SAND	RIGID INSULATION
WOOD BLOOMING	DIMENSIONAL LUMBER	METAL STUD WALL	

STANDARD DRAWING SYMBOLS:

WALLTYPE TAG	NORTH ARROW INDICATOR	COLUMN GRID BUBBLE AND LINE
DOOR TAG	DRAWING KEYNOTE TAG	T.O. SLAB ELEV. 100'-0"
FINISH NOTE TAG	CEILING MATERIAL AND HEIGHT TAG	DETAIL BOX TAG
REVISION TAG	ROOM NAME AND NUMBER TAG	DETAIL CIRCLE TAG
DEMOLITION TAG	4-WAY ELEVATION TAG	
SECTION CUT TAG		
ELEVATION TAG		

STANDARD ABBREVIATIONS:

AFB Above Finished Floor	FBO Furnished by Others	FL Plute
ACT Acoustical Ceiling Tile	FD Floor Drain	FLAM Plastic Laminate
ACQ/ST Acoustical	FE Fire Extinguisher	PLYWD Plywood
ADJ Adjustable	FEC Fire Extinguisher & Cabinet	FLUMB Plumbing
AHJ Authority Having Jurisdiction	FFE Furniture, Fixtures & Equipment	FLN Panel
ALUM Aluminum	FIN Finish	FR Par
AMB Air-moisture barrier	FLUR Fluorescent	PREP Preparation
ANC Anchor	FRGRW Fiberglass Reinforced	PRFRW Prefinished
ANOD Anodized	FRP Fire Retardant Reinforced Plastic	PTD Painted
ARCH Architectural	FRS Fire Retardant	QT Quarry Tile
ASBY Assembly	FS Floor Smk.	RA Raster
BD Board	FSE Food Service Equipment	RAD Raster
BFG Below Finished Grade	FT Feet	RCP Reflected Ceiling Plan
BFF Below Finished Floor	FV Field Verify	REF Reference
BLDG Building	GA Gage	REFL Reflected, Raster
BLDG Blinding	GALV Galvanized	REIN Reinforced, Raster
BM Beam	GC General Contractor	RELOC Relocated
BOT Bottom	GL Gypsum Board	RFR Raster
BRG Beaming	HIC Hollow Core	REV Review
BS Both Sides	HIM Hollow Metal	RTJ Riser Top Up
BTWN Between	HT Height	SC Solid Core
CB Cabinet	HMWD Hardwood	SC Solid Core
CI Control Joint	HR Heating, Ventilation and Air Conditioning	SHH Sheathing
C Center Line	INSUL Insulation	SIM Similar
CLG Ceiling	INT Interior	SM Sheet Metal
CLO Closet	JST Joint	SPECCD Specified
CLR Clear	LAM Laminated	STD Standard
CMA Concrete Masonry Unit	LAV Lavatory	STRUC Structural
COL Column	LLH Long Leg Horizontal	SUSP Suspended
CONC Concrete	LLV Long Leg Vertical	TBD To be determined
CONT Contiguous	MANUF Manufacturer	TEMP Tempered
CONST Construction, Construct	MCH Mechanical	TBP Top and Bottom
CT Ceramic Tile	MEC1 Mechanical, Electrical, and Plumbing	TYP Typical
DCL Double	MEP Mechanical, Electrical, and Plumbing	VCT Vinyl Composition Tile
DEMO Demolition	MILL Millwork	VERT Vertical
DIA Diameter	MIN Minimum	WVC Vinyl Wall Covering
DN Down	MISC Miscellaneous	WNO Unless Noted
DR Door	MND Masonry Opening	WOF With
DS Downspout	MO Mounted	WO Without
DTL Detail	MTD Mounted	WC Water Closet
DWG Drawing	MUL Metal	WO Wood
EA Each	NIC Not In Contract	WV Water Heater
EIP5 Exterior Insulation and Finish System	NOM Nominal	WOW Window
EF Exhaust Fan	NOS Not To Scale	WPF Waterproofing or Waterproof
EJ Egress Jamb	OC On Center	WSC Water Closet
EL Elevation	OD Outside Diameter	WT Weight
ELEC Electrical	OFC Owner Furnished	WMF Weakest Wire Fabric
ELEV Elevation	OPNG Opening	
EQ Equipment	OPT Optional	
EQUIP Equipment	OTS Open to Structure	
EW Each Way	PBD Particle Board	
EWC Electric Water Cooler		
ENST Opening		
EXP Expansion		
EXT Exterior		
FBD Fiber Board		



AREA AND CASE NOTES:

STORE NUMBER	PROPOSED	EXISTING	VARIANCE
211	211		
2070C	2070C		
MALL			
B			
BRIDAL ISLANDS 2 TIERS	50		
OTHERS	43		
	0.0		
CORNERS	0		
FIXTURES	0		
FREESTANDING	32		
WALK UP - HIGH	8		
WALK UP - LOW	8		
TOTAL (LF)	131.0		
CASES ON STOREFRONT (LF)	25		
POS STATIONS	2		
STOREFRONT LENGTH (FT)	88'-1"		
BOH FLOOR AREA (SF)	339	372	(113)
SALES FLOOR AREA (SF)	1,528	1,142	386
TOTAL LEASE AREA (SF)	1,787	1,655	132

CODE DATA:

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

CODE RESEARCH:	INTERNATIONAL BUILDING CODE	2018
BUILDING & STRUCTURAL:	INTERNATIONAL PLUMBING CODE	2018
PLUMBING:	INTERNATIONAL MECHANICAL CODE	2018
MECHANICAL:	NATIONAL ELECTRICAL CODE	2017
ELECTRICAL:	INTERNATIONAL FIRE CODE	2018
FIRE/LIFE SAFETY:	GEORGIA ACCESSIBILITY CODE (2010) AND STANDARDS	2010
ACCESSIBILITY CODE:		

BUILDING DATA:
NUMBER OF FLOORS: 1
OCCUPANCY CLASSIFICATION: M MERCHANTILE
CONSTRUCTION TYPE: III
GROSS AREA (G.A.): 1,787 S.F.

EXIT CALCULATION:
OCC. LOAD 50 OR LESS = 1 REQUIRED EXIT PER IBC 402.4.2:
TRAVEL DISTANCE TO THE MALL IS LESS THAN 75 FEET

REQUIRED EGRESS WIDTH (23 X 0.15) = 3.45' PROVIDED = 3 EXITS 642' (PROVIDED)

RESTROOM FUTURE COUNT: 1 (PROVIDED)

ALL FINISHES COMPLY WITH FIRE RESISTANCE RATINGS REQUIRED FOR CORRIDORS AND ROOMS, SEE FINISH KEY FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.

SPRINKLER SYSTEM AND FIRE ALARM SYSTEM ARE DESIGN BUILT BY LANDLORD GENERAL CONTRACTOR. ALL FIRE, SPRINKLER AND FIRE ALARM DRAWINGS BY SEPARATE PERMIT AS A DEFERRED SUBMITTAL.

PROJECT DIRECTORY:

OWNER: HELZBERG DIAMONDS 1825 SWIFT NORTH KANSAS CITY, MO 64116 T: 816.627.1436 F: 816.627.1494 CONTACT: ELI CARPENTER EMCARPENTER@HELZBERG.COM	ARCHITECT: H.C. KLOVER ARCHITECT 8813 PENROSE LANE, SUITE 400 LEXENA, KS 68219 T: 913.649.8181 F: 913.649.1275 CONTACT: HENRY KLOVER HKPERMITTING@KLOVER.NET	BUILDING DEPARTMENT: GWINNETT COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT ONE JUSTICE SQUARE 446 WEST CROGAN STREET LAWRENCEVILLE, GA 30046 678.518.6000 MARCUS CANADA
MEP ENGINEER: RTM ENGINEERING CONSULTANTS 5225 INDIAN CREEK PKWY, SUITE 1075 OVERLAND PARK, KS 66210 T: 913.322.1400 F: 913.325.6597 CONTACT: BRAD KRIBER BRAD.KRIBER@RTMASOCIATES.COM	LANDLORD: SIMON PROPERTY GROUP, INC. 225 WEST WASHINGTON STREET INDIANAPOLIS, INDIANA 46204 317.636.1600 BARB LYNN BARB.LYNN@SIMON.COM	

LANDLORD REQ'D. CONTRACTORS:

MECHANICAL & PLUMBING:	REVISION DATE	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6
M100	MECHANICAL FLOOR PLAN & SCHEDULES	01.07.20					
M200	MECHANICAL DETAILS	01.07.20					
M300	HVAC SCHEDULES	01.07.20					
MP100	MECHANICAL SPECIFICATIONS	01.07.20					
MP200	MECHANICAL SPECIFICATIONS	01.07.20					
MP300	PLUMBING SPECIFICATIONS	01.07.20					
MP400	FIRE PROTECTION SPECIFICATIONS	01.07.20					
P100	PLUMBING FLOOR PLAN	01.07.20					
P200	PLUMBING SCHEDULES & DETAILS	01.07.20					
ELECTRICAL:							
E100	LIGHTING PLAN	01.07.20					
E200	POWER PLAN	01.07.20					
E300	SPECIAL SYSTEMS PLAN	01.07.20					
E400	ELECTRICAL SCHEDULES & DETAILS	01.07.20					
E500	ELECTRICAL SPECIFICATIONS	01.07.20					
E600	ELECTRICAL SPECIFICATIONS	01.07.20					