

**GENERAL NOTES**

1. It is the intent of the Designer that all be in accordance with all requirements of the building authorities having jurisdiction over this type of construction and occupancy.
2. The Contractor shall verify all conditions and dimensions at the job site prior to commencing work. The Contractor shall report all discrepancies between the drawings and existing conditions to the Designer prior to commencing work.
3. The Contractor shall supply, locate, and build into the work all inserts, anchors, angles, plates, openings, sleeves, hangers, bracing, slab depressions, and all pitches as may be required to attach and accommodate other work.
4. All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work, except where a different detail is shown. (Any details provided by the Engineer and/or Contractor to supersede those provided by the Designer).
5. Roof ventilation to be provided per FBC sections R806.

**DESIGN SPECIFICATIONS**

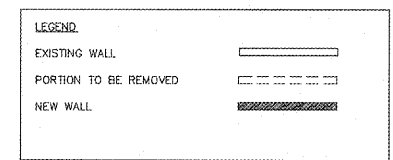
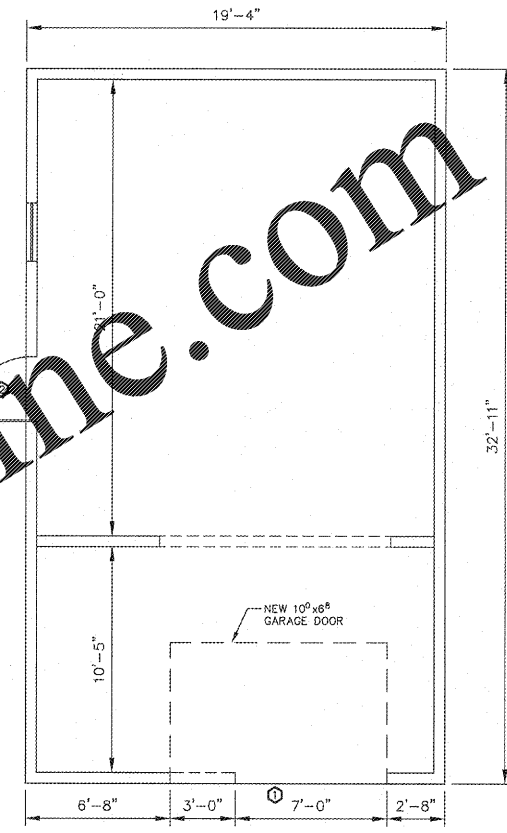
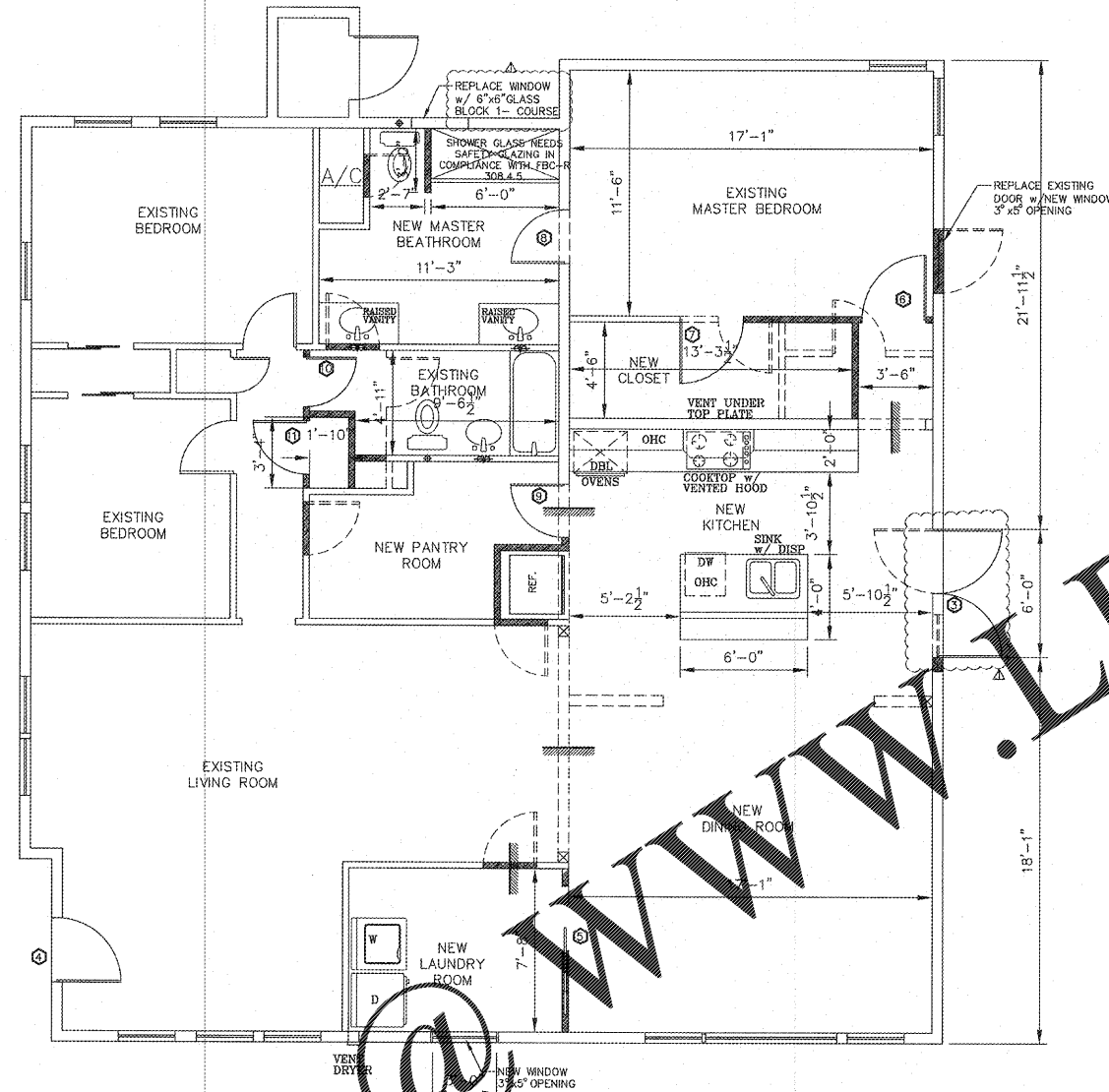
Design Code: The 2017 Florida Building Code (FBC) – Residential  
 Occupancy: Residential Group R-3 (One and Two Family Dwellings)  
 Construction: Type V, Unprotected  
 Note: Any design Specifications provided by the Engineer and/or Contractor supersede those provided by the Designer.

**EGRESS OPENING COMPLIANCE**

1. See Floor Plan for egress window and door locations "this sheet".
2. All window and door openings labeled "egress" to comply with FBC section R310 & R311.

**ALL APPLICABLE BUILDING CODES APPLY (Including but not limited to):**

- FBC-R302.5.1: This door min. 3/8" thick solid wood, or min. 1 Honeycomb core steel, or 20 minute fire-rated. Requires doors connecting a garage to the house have some type of closure.
- FBC-R302.5.2: Ducts in garage shall be min. 26ga. sheet metal, or Owens corning min. 1" thick Endura gold duct board.
- FBC-R302.1: Structures set back 5' or less from the property line may be required to have fire rated overhangs and no projections closer than two feet from the property line. *Please review complete code section.*
- FBC-R302.6: Gorge wall shall be separated from residence and it's attic with min. 1/2" gyp. bd. applied to garage side. Garages beneath habitable rooms shall be separated from rooms above with min. 5/8" type "X" gyp. bd. where the separation is a floor-ceiling assembly, any structure supporting the assembly shall be protected with min. 1/2" gyo. bd.
- FBC-R1601.4.7: Min. 4" clearance required around all sides ormech. equipment and componets, including ducts.
- FBC-R, M1307.2: Ground-mounted mech. units shall be anchored in accordance with this section.
- FBC-R303: Revises glazing requirements around wet surfaces.
- FBC-R402.4.1.2: Florida Building Code – Energy Conservation requires blower door testing to confirm air leakage not greater than 5 air changes per hour. Testing must be done by an approved third party and a report is to be provided to the building official.
- FBC-R303.4: Requires a whole house ventilation system meeting M1507.3 requirements when the air infiltration rate is less than 5 air changes per hour. (Which is what R402.4.1.2 above requires, thus all houses must have a whole house ventilation system).
- FBC-R312: Changes requirements for guards and window fall protection.
- FBC-R806: Changes attic ventilation requirements.
- FBC-R905: Changes installation and type of roofing underlayment (similar to present re-roofing requirements).
- FBC-R703.6.3: Where stucco is applied to lath over wood frame construction, a bond – breaker is required between the water – resistive barrier and the stucco per one of the following methods: 2 layers of approved water– resistive barrier material, 1 layer of approved water–resistive barrier over an approved plastic house wrap, or other approved method in accordance with the manufactures installation instructions.
- FBC-703.6.5: While previous codes have referenced that the exterior plaster shall comply with ASTM C926 and ASTM 1063, this section specifically states minimum curing time between coats.
- FBC-M1506: Has added minimum clearance distance between air exhaust (bathroom, kitchen, etc.) and building openings.



**EXISTING AND DEMOLITION FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

Opening Number	Location	Door Type	Size	Swing
10	Garage	Overhead Garage Door		
1	Garage	Garage Entry Door	Match Existing	LH
2	Entry	(2) Entry French Door	3-0 x 6-8 PR	By Owner
3	Entry	Entry Door	Match Existing	RH
4	Laundry	Pocket Door	3-0 x 6-8	
5	Master Bedroom	HC Pre-hung	3-0 x 6-8	RH
6	Master Closet	HC Pre-hung	3-0 x 6-8	LH
7	Master Bathroom	HC Pre-hung	3-0 x 6-8	RH
8	Pantry	HC Pre-hung	2-6 x 6-8	LH
9	Hall Bath Entry	HC Pre-hung	2-6 x 6-8	LH
11	Hall Linen Closet	HC Pre-hung	2-0 x 6-8	RH

**NOTES (FBC2017-R)**  
**NOTES (COMPLY W/ FLORIDA BUILDING CODE 2017 – RESIDENTIAL):**

1. FBC-R302.5.1: ANY DOOR BETWEEN THE DWELLING AND THE GARAGE IS TO BE EITHER A 1 3/8" MIN. THICK SOLID WOOD OR HONEYCOMB CORE STEEL OR THE DOOR IS TO HAVE A 20 MIN. FIRE-RATING.
2. FBC-R302.5.2: DUCTS IN GARAGE SHALL BE MIN. 26 GAGE SHEET STEEL, WITH NO OPENINGS INTO THE GARAGE PERMITTED.
3. FBC-R302.6: GARAGE SHALL BE SEPARATED FROM RESIDENCE AND ITS ATTIC WITH 1/2" MIN. GYPSUM BOARD APPLIED TO GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE WITH 5/8" MIN. TYPE 'X' GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, ANY STRUCTURE SUPPORTING THE ASSEMBLY SHALL BE PROTECTED WITH MIN. 1/2" GYPSUM BOARD.
4. FBC-R703.6.3: WHERE STUCCO IS APPLIED TO LATH OVER WOOD FRAME, A BOND BREAKER IS REQUIRED BETWEEN THE WATER RESISTIVE BARRIER AND THE STUCCO PER ONE OF THE FOLLOWING METHODS:  
 - 2 LAYERS OF APPROVED WATER-RESISTIVE BARRIER MATERIAL, OR  
 - 1 LAYER OF APPROVED WATER-RESISTIVE BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP, OR - OTHER METHOD IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
5. FBC-R, M1307.2: GROUND MECHANICAL UNITS SHALL BE ANCHORED IN ACCORDANCE WITH THIS SECTION.
6. FBC-R, M1305.1.1: MIN. 4" CLEARANCE AROUND ALL SIDES OF MECHANICAL EQUIPMENT AND COMPONENTS, INCLUDING DUCT, WITH THE TOTAL WIDTH OF THE ENCLOSING SPACE BEING AT LEAST 12" WIDER THAN THE FURNACE OR AIR HANDLER.

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COVER SHEET, GENERAL NOTES, EXISTING FLOOR PLANS	RENOVATIONS AT 500 ST JOHNS AVE. GREEN COVE SPRINGS, FLORIDA
DWG. DATE: AOB 11/7/20 REV. # DESCRIPTION 1 FIELD CHANGES 2 3 4 5	DRAWN BY: AOB DATE: 12/10/2019 SCALE: AS NOTED DESIGNED BY: DVL JOB NO.: TVC-20191121 SHEET No.: A1 of 2