

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Jersey Mike's Subs - Unit 102
Address: The Palladium Shopping Center Bldg 2-4117 Brian Jordan Place, High Point, NC Zip Code: 27265
Owner/Authorized Agent: Darrel Matuan Phone #: (704) 579-2849 E-Mail: dmatuan@gmail.com
Owned By: Collett Properties City/Country Private State
Code Enforcement Jurisdiction: City County New Hanover State

CONTACT:
DESIGNER: PKM NAME: Thomas F. Tedrow LICENSE # 19979 TELEPHONE # (878) 777-9548 E-MAIL: tom.tedrow@tedrowdesign.net
Architectural: Tedrow Design Group
Civil:
Electrical: Ray Group Ashim Ray 20543 (770) 953-1443 Ashim.R@raygroup.net
Fire Alarm:
Plumbing: Ray Group Keith Mikulka 21285 (770) 953-1443 KeithM@raygroup.net
Mechanical: Ray Group Keith Mikulka 21285 (770) 953-1443 KeithM@raygroup.net
Sprinkler-Standpipe:
Structural:
Retaining Walls > 5' High:
Other:

2018 NC BUILDING CODE: [] New Building [] Addition [] Renovation
[] 1st Time Interior Completion
[] Shell/Close - Contact the local inspection jurisdiction for possible additional procedures and requirements
[] Phased Construction - Shell/Close - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: [] Prescriptive [] Repair [] Chapter 14
Alteration: [] Level I [] Level II [] Level III
[] Historic Property [] Change of Use

CONSTRUCTED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3): Business
RISK CATEGORY (Table 1604.5): Current: [] I [] II [] III [] IV Proposed: [] I [] II [] III [] IV

BASIC BUILDING DATA
Construction Type: [] I-A [] II-A [] III-A [] IV [] V-A
[] I-B [] II-B [] III-B [] IV-B [] V-B
Sprinklers: [] No [] Partial [] Yes [] NFPA 13 [] NFPA 13R [] NFPA 13D
Standpipes: [] No [] Yes Class [] I [] II [] III [] Wet [] Dry
Fire District: [] No [] Yes Flood Hazard Area: [] No [] Yes
Special Inspections Required: [] No [] Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

2018 NC Administrative Code and Policies

Gross Building Area Table
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor
2nd Floor
Mezzanine N/A
1st Floor 6,814 (Up/In 1,217 SF)
Basement N/A
TOTAL 6,814 (Up/In 1,217 SF)

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly [] A-1 [] A-2 [] A-3 [] A-4 [] A-5
Business [] B-1 [] B-2 [] B-3 [] B-4 [] B-5
Educational [] E-1 [] E-2 [] E-3 [] E-4 [] E-5
Factory [] F-1 Moderate [] F-2 Low
Hazardous [] H-1 Detonate [] H-2 Deflagrate [] H-3 Combust [] H-4 Health [] H-5 HPM
Institutional [] I-1 Condition 1 [] 2 [] 3 [] 4 [] 5
[] I-2 Condition 1 [] 2 [] 3 [] 4 [] 5
[] I-3 Condition 1 [] 2 [] 3 [] 4 [] 5
[] I-4
Miscellaneous [] M-1 [] M-2 [] M-3 [] M-4
Residential [] R-1 [] R-2 [] R-3 [] R-4
Storage [] S-1 Moderate [] S-2 Low [] High-piled
[] Parking Garage [] Open [] Enclosed [] Repair Garage
Utility and Miscellaneous [] U-1 [] U-2 [] U-3 [] U-4

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: [] No [] Yes Separation: 0 Hr. Exception

[] Non-Separated Use (§8.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Actual Area of Occupancy A1: 2,164
Allowable Area of Occupancy A1: 6,800
Actual Area of Occupancy A1 / Allowable Area of Occupancy A1 = 0.318 (47) - (0.25) <= 1.00

2018 NC Administrative Code and Policies

Table with 5 columns: STORY NO., AREA PER FLOOR (SQUARE FEET), AREA, AREA PER FLOOR (SQUARE FEET), ALLOWABLE AREA PER STORY (SQUARE FEET)
Single Level: B - Jersey Mike's Subs: 6,814 (1,217), 6,800, 4,500, 10,150

1) Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width - (F)
b. Total Building Perimeter - (P)
c. Ratio (F/P) = (F/P)
d. W - Minimum width of public way - (W)
e. Percent of frontage increase I_f = 100(P/P) - 0.25 x W/30 = (I_f) %
2) Unlimited area applicable under conditions of Section 507.
3) Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2)
4) The maximum area of open parking garages must comply with Table 406.5.4.
5) Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT
Building Height in Feet (Table 504.3): 40'-0"
Building Height in Stories (Table 504.3): 1 story

1) Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
2) The maximum height of air traffic control towers must comply with Table 412.3.1.
3) The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS

Table with 10 columns: BUILDING ELEMENT, FIRE SEPARATION (FEET), REQUIRED (FEET), PROVIDED (FEET), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR ALTERATION, SHEET # FOR REPAIR WORKS
Structural Frame: 0, 0, 0
Bearing Walls: 0, 0, 0
Exterior Walls: 0, 0, 0
Roof/Ceiling Assembly: 0, 0, 0
Columns Supporting Beams: 0, 0, 0
Roof Construction: 0, 0, 0
Roof Ceiling Assembly: 0, 0, 0
Columns Supporting Roof: 0, 0, 0
Shaft Enclosures - Exit: 0, 0, 0
Shaft Enclosures - Other: 0, 0, 0
Curtain Separation: 0, N/A, N/A
Exterior Fire Barrier Separation: 0, 2, 2
Party/Fac Wall Separation: 0, N/A, N/A
Smoke Barrier Separation: 0, N/A, 0
Smoke Partition: 0, N/A, 0
Transit/Dwelling Unit/Sleeping Unit Separation: 0, 1, 1
Incidental Use Separation: 0, N/A, 0

PERFORMANCE RATED OPENING CALCULATIONS

Table with 4 columns: FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES), PERMITTED OPENING AREA (%), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: [] No [] Yes
Fire Alarm: [] No [] Yes
Smoke Detection Systems: [] No [] Yes [] Partial
Carbon Monoxide Detection: [] No [] Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A01
[] Fire and/or smoke rated wall locations (Chapter 7)
[] Assumed and real property line locations (if not on the site plan)
[] Exterior wall opening area with respect to distance to assumed property lines (705.8)
[] Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
[] Occupant loads for each area
[] Exit access travel distances (101.7)
[] Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
[] Dead end lengths (1020.4)
[] Clear exit widths for each exit door
[] Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
[] Actual occupant load for each exit door
[] A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
[] Location of doors with panic hardware (1010.1.10)
[] Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
[] Location of doors with electromagnetic egress locks (1010.1.9.9)
[] Location of doors equipped with hold-open devices
[] Location of emergency escape windows (1030)
[] The square footage of each fire area (202)
[] The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
[] Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE

Table with 8 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106) NOT APPLICABLE - TENANT FIT-OUT ONLY

Table with 6 columns: LOT/FLOOR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, TOTAL # OF PARKING SPACES PROVIDED, # OF ACCESSIBLE SPACES PROVIDED, # OF 15' x 30' SPACES PROVIDED, # OF 12' x 20' SPACES PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Table with 10 columns: USE, WATER CLOSURE, SINKS, SINKS, SINKS, SINKS, SINKS, SINKS, SINKS, SINKS

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, CSC, DPH, DHHS, etc., describe below)

ENERGY REQUIREMENTS

The following data shall be completed minimum, and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method is used, the energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: [] No [] Yes
Energy code compliance: Energy Code [] Performance [] Prescriptive
ASHRAE 90.1 [] Performance [] Prescriptive

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly):
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:
Exterior Walls (each assembly):
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing):
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly):
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly):
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade:
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone: winter dry bulb: 17.1F, summer dry bulb: 92.2F
Interior design conditions: winter dry bulb: 70F, summer dry bulb: 75F, relative humidity: 50%RH
Building heating load: 80.2 MBH
Building cooling load: 97.8 MBH
Mechanical Spacing Conditioning System: Unitary, description of unit: New packaged, heating efficiency: 81%, cooling efficiency: SEER 14.0, size category of unit: 4 tons

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

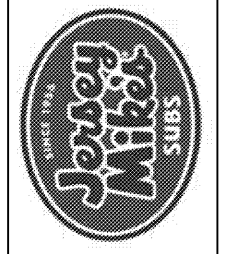
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code - Prescriptive
Lighting schedule:
FIXTURE A: 1-50W LED LAMP, NO BALLAST
FIXTURE A-NL: 1-50W LED LAMP, NO BALLAST
FIXTURE B: 1-40W LED LAMP, NO BALLAST
FIXTURE BI: 1-42W LED LAMP, NO BALLAST
FIXTURE BI-NL: 1-42W LED LAMP, NO BALLAST
FIXTURE T: 9-5W LED HEAD LAMPS, NO BALLAST, 1 AMP CURRENT LIMITER
FIXTURE W: 1-6W LED LAMP, NO BALLAST
TOTAL INTERIOR WATTAGE SPECIFIED - 998 W
TOTAL INTERIOR WATTAGE ALLOWED - 1039 W

Additional Efficiency Package Options

2018 NC Administrative Code and Policies
[] C406.2 More Efficient HVAC Equipment Performance
[] C406.3 Reduced Lighting Power Density
[] C406.4 Enhanced Digital Lighting Controls
[] C406.5 On-Site Renewable Energy
[] C406.6 Dedicated Outdoor Air System
[] C406.7 Reduced Energy Use in Service Water Heating

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ARCHITECT/ENGINEER STAMP

Table with 2 columns: REV. NO., DATE
PROJECT NO.: JMMC-200
DRAWN BY: KRR
CHECKED BY: TFT
ISSUE DATE: 11/06/19