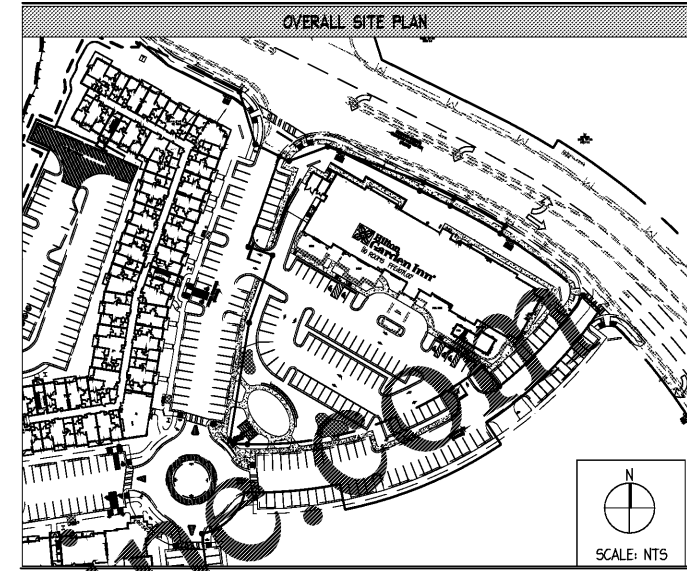


# SITE DEVELOPMENT PLANS FOR:



**HILTON GARDEN INN**  
 3000 WOODWARD CROSSING BLVD  
 LAND LOT 177, DISTRICT 7, SECTION ##  
 GWINNETT COUNTY, BUFORD, GEORGIA 30519



PROJECT CONTACTS			
<b>MASTER DEVELOPER/SELLER</b> POLLOCK SHORES MR. TYLER GAINES 5605 GLENRIDGE DR., SUITE 700 ATLANTA, GA 30342 PHONE: (404) 314-5285 EMAIL: TGAINES@POLLOCKSHORES.COM	<b>HOTEL DEVELOPER/OWNER</b> PENGATREE HOTEL GROUP ONE ALLIANCE CENTER 3600 LENOX ROAD, SUITE 605 ATLANTA, GA 30336 PHONE: (404) 497-4111	<b>CIVIL ENGINEER</b> INGENIUM ENTERPRISES, INC. MR. JAMES HEFF 221 ROSWELL STREET, SUITE 100 ALPHARETTA, GA 30001 PHONE: (770) 457-8850	<b>ARCHITECT</b> SNP ARCHITECTURE, P.A. MR. PHILIP PARTINGTON 40 SOUTH PALAFOX STREET, SUITE 202 PENSACOLA, FL 32502 PHONE: (850) 452-7172
<b>MEP</b> H.M. YOUNG & ASSOCIATES MR. MATT YONGE 102 EAST GARDEN STREET PENSACOLA, FL 32502 PHONE: (850) 434-2641	<b>SITE LIGHTING</b> SNP ARCHITECTURE, P.A. MR. PHILIP PARTINGTON 40 SOUTH PALAFOX STREET, SUITE 202 PENSACOLA, FL 32502 PHONE: (850) 452-7172	<b>MUNICIPAL SEWER AGENCY</b> ERIC PERSON 446 WEST CROGAN STREET, SUITE 150 LAWRENCEVILLE, GA 30046 PHONE: 678-510-4177 EMAIL: ERIC.PERSON@GWINNETT.COUNTY.GA.GOV	<b>MUNICIPAL WATER AGENCY</b> ERIC PERSON 446 WEST CROGAN STREET, SUITE 150 LAWRENCEVILLE, GA 30046 PHONE: 678-510-4177 EMAIL: ERIC.PERSON@GWINNETT.COUNTY.GA.GOV
<b>GAS</b> CITY OF BUFORD GAS DEPARTMENT MR. JASON S. HIGGINS 2300 BUFORD HWY BUFORD, GA 30518 PHONE: 770-33-5809 EMAIL: JHIGGS@CITYOFBUFORD.COM	<b>TELEPHONE COMPANY</b> ATTN: MR. PHILIP REESE 2300 NORTHLAKE CENTER DRIVE ROOM 100 TUCKER, GA 30084 PHONE: 404-537-7142 EMAIL: PHILIP.REESE@ATT.NET	<b>ELECTRIC</b> JACKSON ERIC MR. TODD EVANS, SR. 461 SHANSON DRIVE LAWRENCEVILLE, GA 30049 PHONE: 770-827-3017 EMAIL: TODDEVANS@JACKSONERIC.COM	

THE GEOTECHNICAL INVESTIGATION PREPARED BY CONTOUR ENGINEERING, LLC, DATED 02/05/2019 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.

CONTRACTOR SHALL NOTIFY THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL WITHIN 24 HOURS UPON COMPLETE INSTALLATION OF INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs. THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL MUST INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.

THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DEWATERING PERMITS, ETC.

CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

ALL REQUIREMENTS OF THE GWINNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO) RELATIVE TO THE PREPARATION AND SUBMISSION OF A DEVELOPMENT PERMIT APPLICATION HAVING BEEN FULFILLED, AND SAID APPLICATION AND ALL SUPPORTING PLANS AND DATA HAVE BEEN REVIEWED AND APPROVED BY ALL AFFECTED COUNTY DEPARTMENTS AS REQUIRED BY UNDER THEIR RESPECTIVE AND APPLICABLE REGULATIONS, APPROVAL OF THIS SITE PLAN IS HEREBY GRANTED AND ALL OTHER DEVELOPMENT PLANS ASSOCIATED WITH THIS PROJECT SHALL BE SUBJECT TO ALL FURTHER PROVISIONS OF SAID UDO.

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DEPARTMENT OF PLANNING AND DEVELOPMENT

THIS CERTIFICATE EXPIRES TWELVE MONTHS FROM THE DATE OF APPROVAL UNLESS A DEVELOPMENT PERMIT IS ISSUED.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

**24-HOUR CONTACT:**  
 GREG FOX  
 (404) 754-8842

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

### NPDES BMP AND SITE VISIT CERTIFICATION

I, \_\_\_\_\_, CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE DESIGN REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

2. I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

CERTIFICATION # 000024-0091  
 EXPIRATION DATE 10/01/2021

### DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION

I, \_\_\_\_\_, CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ESPC PLAN ON THE DATE OF INSPECTION.

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ESPC PLAN:

DATE OF INSPECTION: \_\_\_\_\_  
 GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 000024-0091

### NPDES ESPC PLAN CERTIFICATION

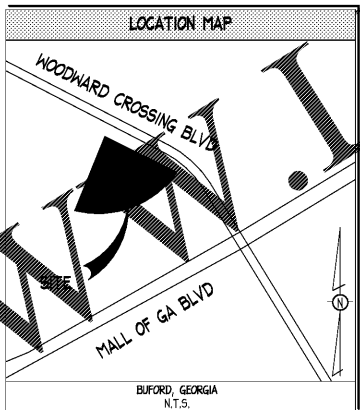
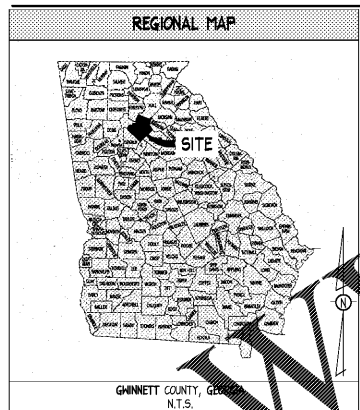
I, \_\_\_\_\_, CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE DESIGN REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

2. I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION. THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

THESE DEFICIENCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

PREPARED BY:  
**ingenium**  
 ENTERPRISES  
 PLANNING & ENGINEERING

PREPARED FOR:  
 PHG BUFORD, LLC  
 3500 LENOX ROAD, SUITE 625  
 ATLANTA, GEORGIA 30326  
 PHONE: (404) 497-4111  
 FAX: FAX



SITE INFORMATION	
JURISDICTION:	GWINNETT COUNTY
ZONING:	MU-R (MALL OF GA OVERLAY DISTRICT)
REQUIRED BUILDING SETBACKS:	
FRONT:	20'
SIDE:	10'
REAR:	10'
REQUIRED PARKING:	10 SPACES
OFFSITE PARKING PROVIDED:	34 SPACES
PROPOSED PARKING PROVIDED:	
8' X 10' (REGULAR) :	= 71
8' X 10' (HC) :	= 5
TOTAL PROPOSED :	= 76
TOTAL PROVIDED PARKING:	10 SPACES
DRIVE AISLE:	24'
SITE AREA CALCULATIONS:	
SITE:	11.04 AC.
PERVIOUS AREA:	10.56 AC.
IMPERVIOUS AREA:	0.48 AC.
PAVERS AREA:	10.04 AC.
DISTURBED AREA:	11.04 AC.
FLOOD HAZARD:	
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.T. MAP NO. B185C0035P, DATED 07/16/2014.	
DISTINGUISHING CONDITIONS INFORMATION: PROVIDED BY LANCASTER ASSOCIATES, INC., DATED 07/16/2014.	

SHEET INDEX		SCALE OF - SCALE FOR PERMIT	
NO.	TITLE	SCALE	DATE
CO1.0	COVER SHEET		
CO1.1	GENERAL NOTES		
CO2.0	FUTURE CONDITIONS PLAN		
CO2.1	DEMOLITION PLAN		
CO3.0	SITE PLAN		
CO3.1	STAKING PLAN		
CO3.2	HARDSCAPE DETAILS I		
CO3.3	HARDSCAPE DETAILS II		
CO3.4	HARDSCAPE DETAILS III		
CO4.0	UTILITY PLAN		
CO4.1	BUILDING UTILITY DETAIL PLAN		
CO4.2	UTILITY DETAILS I		
CO4.3	UTILITY DETAILS II		
CO4.4	UTILITY DETAILS III		
CO4.5	UTILITY DETAILS IV		
CO4.6	UTILITY DETAILS V		
CO4.7	PIPE PROFILES I		
CO4.8	PIPE PROFILES II		
CO4.9	PIPE PROFILES III		
CO5.0	GRADING AND DRAINAGE PLAN		
CO5.1	BUILDING AREA GRADING DETAIL		
CO6.0	SWPPP		
CO6.1	ESPC PLAN CLEARING PHASE		
CO6.2	ESPC PLAN GRADING PHASE		
CO6.3	ESPC PLAN FINAL PHASE		
CO6.4	ESPC DETAILS I		
CO6.5	ESPC DETAILS II		
CO6.6	ESPC DETAILS III		
CO6.7	ESPC DETAILS IV		
CO6.8	ESPC DETAILS V		
CO6.9	ESPC DETAILS VI		
CO6.10	ESPC DETAILS VII		
HI.00	COVER SHEET (LANDSCAPE PLANS)		
HI.01	OVERALL SITE PLAN (LANDSCAPE PLANS)		
HI.02	HARDSCAPE PLAN (LANDSCAPE PLANS)		
HI.03	HARDSCAPE PLAN (LANDSCAPE PLANS)		
HI.04	HARDSCAPE PLAN (LANDSCAPE PLANS)		
LI.01	LANDSCAPE PLAN (LANDSCAPE PLANS)		
L2.01	LANDSCAPE DETAILS (LANDSCAPE PLANS)		

### GWINNETT COUNTY NOTES

- THE CONTRACTOR SHALL CALL DEVELOPMENT INSPECTIONS TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO THE START OF ANY CONSTRUCTION (678) 518-6000.
- NOTIFY GWINNETT COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (678) 518-6000.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- NO DRIVE UP WINDOWS ARE TO BE INSTALLED.
- NO OUTSIDE STORAGE PROPOSED. THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC.
- SIGNS, LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN.
- ALL CONSTRUCTION TO COMPLY WITH GWINNETT COUNTY STANDARDS.
- NO OVERSIZED SIGNS PERMITTED.
- NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY UNTIL ISSUANCE OF A DEVELOPMENT PERMIT. NO INTERIM LAND DISTURBANCE PERMITS SHALL BE ISSUED.
- IF NO CURB & GUTTER EXISTS ON EXISTING ROADWAY THE SIDEWALK MUST BE FURTHER SETBACK FROM THE EDGE OF PAVEMENT. LOCATION TO BE APPROVED BY THE DEPARTMENT OF TRANSPORTATION.
- THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.

### FOR COUNTY USE ONLY



4499 N DALE PERRY HWY  
 SUITE 250  
 TAMPA, FL 33634  
 813.307.0284  
 WWW.INGENIUMENTERPRISES.COM



HILTON GARDEN INN  
 BUFORD, GEORGIA  
 MALL OF GEORGIA BLVD &  
 WOODWARD CROSSING BLVD



CLIENT:  
**PHG BUFORD, LLC**  
 3500 LENOX ROAD, SUITE 625  
 ATLANTA, GEORGIA 30326  
 PHONE: (404) 497-4111

REVISION HISTORY	

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL REVISION DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS REVISED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL DESIGN REPRESENTED HEREIN BY THIS INFORMATION SHALL NOT BE LOANED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS AND USE OF SAME WITHOUT EXPRESS WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ # 18060  
 DWG NAME 18060 CO1.DWG  
 ISSUE DATE 11/06/2019  
 PROJ MGR EBF

COVER SHEET

CO1.0  
 SHEET NUMBER

Order Plans @

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