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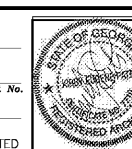
F-1 UNIT
WISTERIA RIDGE
Will-O-War LLC
75 North Main Street
Watkinsville, GA 30677

Issue & Revisions:

No.	Date	Description
1	04.01.19	CLARIFICATION

**MAIN LEVEL
FLOOR
PLAN**

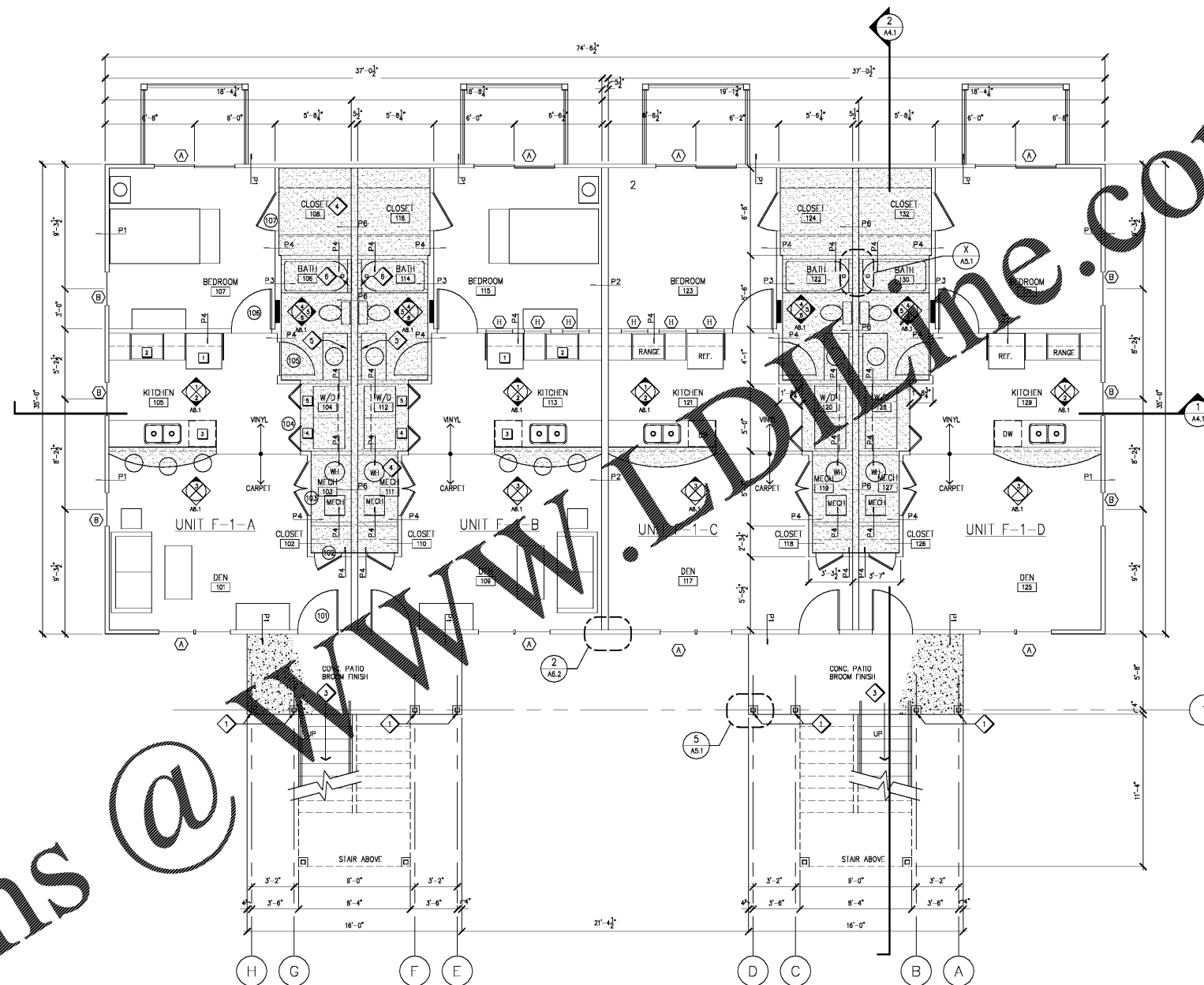
Drawn
MBW
Checked
KEP
Contract No.
Scale
AS NOTED



A1.1
of sheets

04-0119
THIS DRAWING IS THE PROPERTY OF PATE DESIGN GROUP AND IS NOT TO BE COPIED IN WHOLE OR IN PART. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED IN ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST.

RELEASED FOR CONSTRUCTION



1 FLOOR PLAN: Main Level
SCALE: 1/4"=1'-0"

APPLIANCE SCHEDULE:

- 1 GENERAL ELECTRIC, C1180CP, 18 CU.FT. TOP-FREEZER REFRIGERATOR WITH ICEMAKER, 'CLEANSTEEL' FINISH
- 2 GENERAL ELECTRIC, JMS080, 'SPACEMAKER' 27" DROP-IN ELECTRIC RANGE, FINISH SELECTED BY OWNER
- 3 GENERAL ELECTRIC, GSI1800L, 18" BUILT-IN DISHWASHER, FINISH SELECTED BY OWNER
- 4 (OPTIONAL) GENERAL ELECTRIC, DBXR463ED, 6.0 CU.FT. CAPACITY ELECTRIC DRYER
- 5 (OPTIONAL) GENERAL ELECTRIC, WDSR2080, 3.2 CU.FT. CAPACITY WASHER

BUILDING FOOTAGES	UNIT FOOTAGES	UNIT TOTALS
MAIN LEVEL AREA: 2,597 SF.	1 BR UNIT GROSS AREA: 648 SF.	1 BR UNITS: 8
LEVEL TWO AREA: 2,597 SF.	1 BR UNIT NET AREA: 622 SF.	TOTAL UNITS: 8
TOTAL BUILDING AREA: 5,194 SF.		

CONSTRUCTION NOTES:

- 1 6x6 WOOD POST W/ WOOD TRIM AND STONE VENEER. SEE STRUCTURAL DRAWINGS.
- 2 PREFINISHED METAL DOWNSPOUTS. FINAL LOCATION TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- 3 METAL PAN STAIRS. COORDINATE WITH FINAL GRADE.
- 4 GYP. SOFFIT ABOVE. SEE A2.1, A4.3 FOR DETAILS.
- 5 BUILT-IN MEDICINE CABINET. SEE SHEET AB.1
- 6 BUILT-IN SHELVING. SEE SHEET AB.1

GENERAL NOTES:

- 1) GENERAL CONTRACTOR (G.C.) SHALL SURVEY JOB SITE PRIOR TO COMMENCING WORK AND SHALL VERIFY ALL DIMENSIONS AND NOTE ALL CONDITIONS WHICH WILL AFFECT OR BE AFFECTED BY WORK ON THIS PROJECT; AND SUCH CONDITIONS OR DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- 2) ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE CODES, LAWS, RULES AND REGULATIONS OF ALL CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION.
- 3) CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE BUILDING WITH INTERIOR SPACES FINISHED TO A RESIDENTIAL STANDARD.
- 4) CONTRACTOR IS TO NOTIFY OWNER AND GOVERNING AUTHORITIES PRIOR TO INTERRUPTION OF UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO WATER, ELECTRICITY AND GAS. NOTIFICATION IS TO BE A MINIMUM 24 HOURS IN ADVANCE TO UTILITY OUTAGE.
- 5) ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 6) SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
- 7) CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL RATED WALLS AND SHAFT ENCLOSURES BY INSTALLING A METAL SIGN STATING "1 HR. FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS". IDENTIFICATIONS SHALL BE SPACED NO MORE THAN 12" ON CENTER. 2" MIN. LETTER SIZE SHALL BE ON A CONTRASTING BACKGROUND (SEE 7035 OF THE 2002 GEORGIA STATE AMENDMENTS).
- 8) INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS DETERMINED BY ASMT E-84.
- 9) DRYWALL TO BE FINISHED TO USG LEVEL 4 UNLESS NOTED OTHERWISE.
- 10) SEE SHEET AB.1 FOR PARTITION DETAILS AND NOTES.
- 11) SEE SHEET A7.1 FOR DOOR AND WINDOW DETAILS AND SCHEDULES. DOOR TAGS IN UNIT F1-A TYPICAL FOR ALL UNIT DOORS IN F1 BUILDING.
- 12) SEE A7.1 FOR TYPICAL UNIT FINISH SCHEDULES.
- P1 INDICATES PARTITION TYPE. SEE DETAILS AB.1
- 119 INDICATES DOOR NUMBERS. SEE SCHEDULE AND DETAILS ON SHEET A7.1

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