



Quality Civil Designs
 Planners - Engineers - Environmental
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for the firm
 Quality Civil Designs

Nest Feathers
 Gifts,
 LLC

3621 Mundy Mill Road

Parcel:
 08025 00003

City of Oakwood
 Land Lots 28 & 45,
 8th District
 Hall County
 Georgia

Owner/Developer
 Nest Feathers
 3621 Mundy Mill Road
 Oakwood, GA 30566

24 hour Emergency Contact
 Michelle Bajjani
 Phone: 678-641-0009
 Email:
 michelle@nestfeathercafe.com

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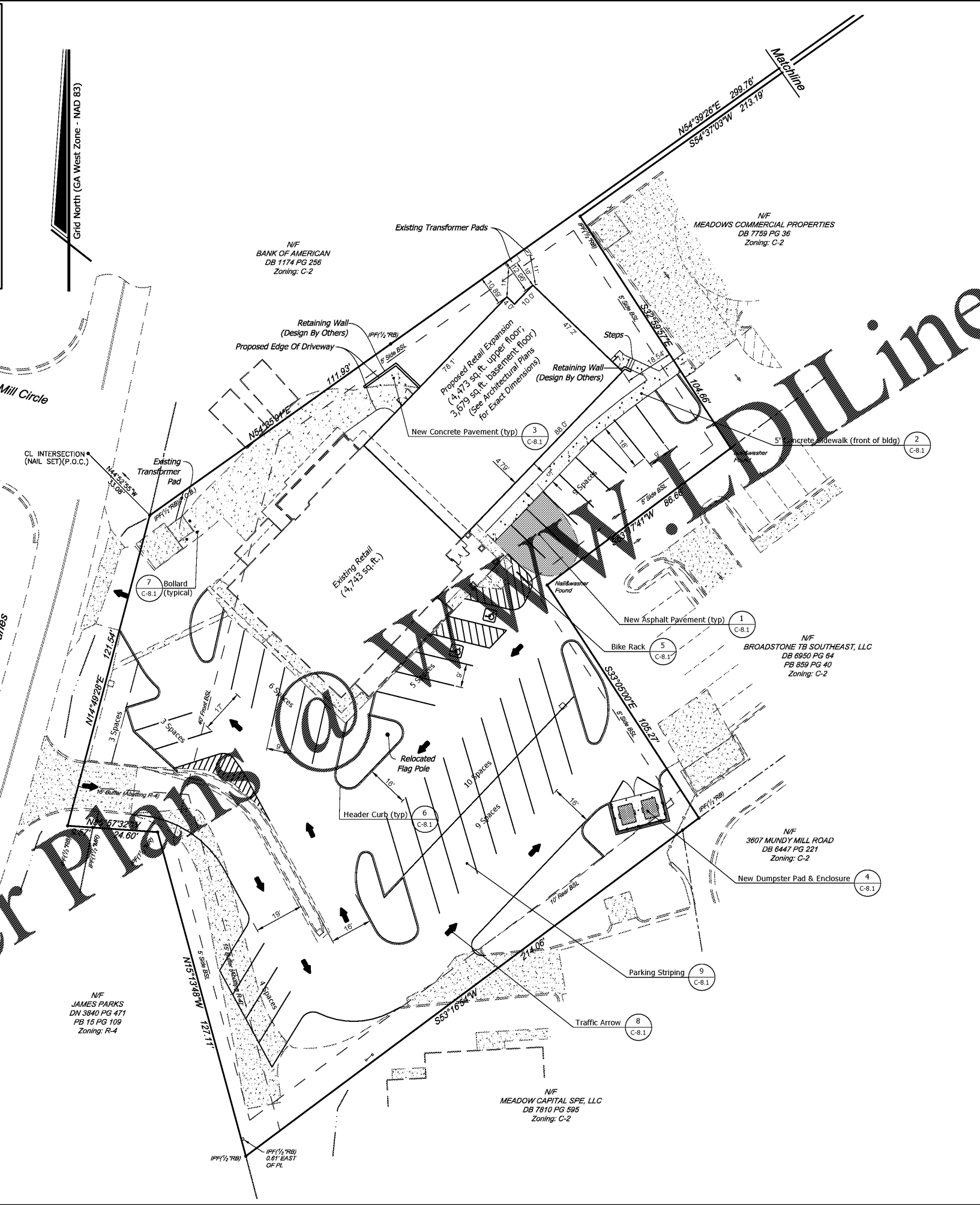
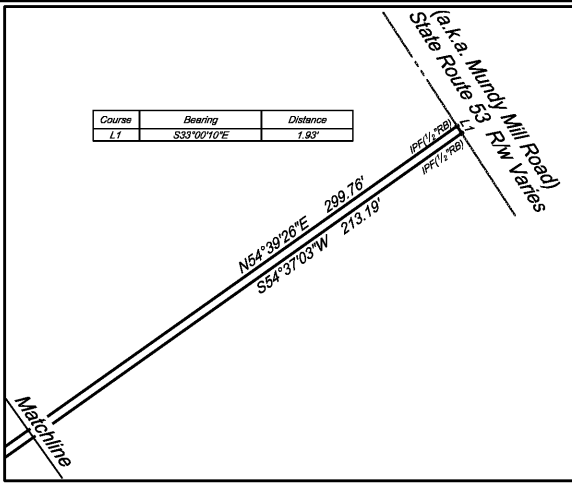
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Revisions		
Rev. #	Date	Description
4	06-14-19	City & County Comments
3	04-25-19	City & County Comments
2	02-18-19	City Comments
1	02-14-19	Progress Set
0	12-21-18	Initial Submittal

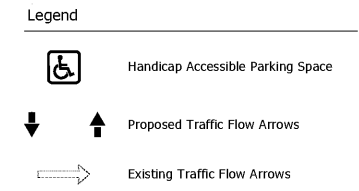
Site Plan

Scale: 1" = 20'
 FN: 18-052

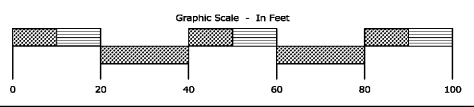
C-3



Note
 Developer will make cash payment in the amount of
 \$25 / LF in lieu of 5' sidewalk improvement
 requirements along Mundy Mill Drive street frontage.



- General Site Notes**
- Site Tax Parcel Number: 08025 000003.
 - Site Address: 3621 Mundy Mill Road, Oakwood, Georgia 30566.
 - Total Project Area: 1.12 acres; total disturbed area: 0.30 acres.
 - Impervious Area: 4,969 acres; percentage of site that is impervious: <00>-%.
 - Project Zoned: C-2.
 - All curb to be 6"x12"x24", 3000psi highback curb, unless otherwise noted or specified.
 - All dimensions are to face of curb or face of building, unless otherwise indicated.
 - See Architectural Plans for exact building dimensions.
 - Existing Land Use: Retail; Proposed Land Use: Expanded Retail
 - Zoning Requirements:
 Yard Setbacks
 Front - 40 feet
 Side (Interior) - 5 feet
 Rear - 10' feet
 Maximum Building Height - 80'
 Proposed Building Height - 30'-6"
 12. Existing Building Area - 4,743 sq.ft.
 Proposed Building Addition Area - 8,152 sq.ft. total (4,473 sq.ft. upper floor; 3,679 sq.ft. basement floor)
 Gross Floor Area - 9,216 sq.ft.
 13. Parking Summary
 Minimum Required Parking Spaces - 1 space per 200 sq.ft. = 46 spaces
 Maximum Allowed Parking Spaces - 120% of minimum = 55 spaces
 Provided Parking Spaces - 46; includes 2 handicap accessible spaces.



Order Plans

