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Nest Feathers  
Gifts,  
LLC

3621 Mundy Mill Road

Parcel:  
08025 00003

City of Oakwood  
Land Lots 28 & 45,  
8th District  
Hall County  
Georgia

Owner/Developer  
Nest Feathers  
3621 Mundy Mill Road  
Oakwood, GA 30566

24 hour Emergency Contact  
Michelle Bajjani  
Phone: 678-641-0009  
Email:  
michelle@nestfeathercafe.com

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This drawing may be utilized only for the purpose of constructing or installing the work shown hereon, at the site of the work specified hereon.

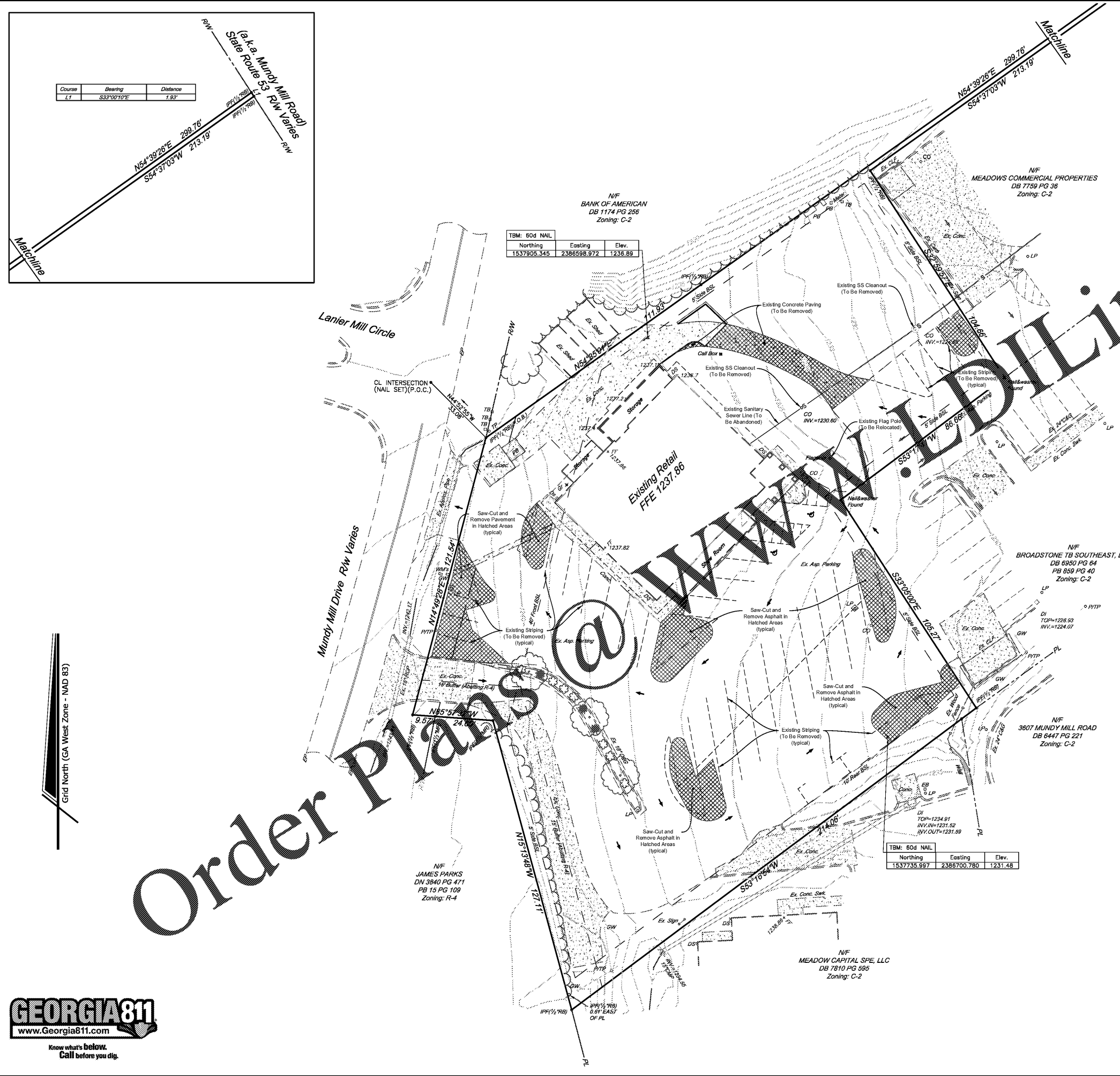
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Revisions		
Rev. #	Date	Description
4	06-14-19	City & County Comments
3	04-25-19	City & County Comments
2	02-18-19	City Comments
1	02-14-19	Progress Set
0	12-21-18	Initial Submittal

Existing  
Conditions &  
Demolition Plan

Scale: 1" = 20'  
FN: 18-052

C-2



Course	Bearing	Distance
L1	S53°09'10"E	1.87'

TBM: 60d NAIL		
Northing	Eastng	Elev.
1537905.345	2386598.972	1236.89

TBM: 60d NAIL		
Northing	Eastng	Elev.
1537735.997	2386700.780	1231.48

Grid North (GA West Zone - NAD 83)

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**Surveyor's Notes**  
FLOOD NOTE: THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER FEMA FLOOD INSURANCE RATE MAP OF CITY OF OAKWOOD COMMUNITY PANEL NUMBER: 130334 0301 G EFFECTIVE DATE: APRIL 4, 2018 REVISION DATE: APRIL 4, 2018  
DEED REFERENCE:(CURRENT OWNER)  
DEED FOR BDL PROPERTY ACQUISITION, LLC  
DATED JULY 12, 2016  
DEED BOOK 7732 PAGE 784.  
PLAT REFERENCE:  
SURVEY FOR SAM MCGEE  
PREPARED BY BY ROCHESTER & ASSOCIATES  
DATED APRIL 20, 2005  
LAST REVISED NOVEMBER 9, 2007  
PLAT BOOK 859 PAGE 40.

**Survey Reference**  
1. Boundary & Topographic information was taken from that Boundary & Topographic Survey for Nest Feathers Gifts, LLC, prepared by London Land Surveying & Assoc., Inc., dated or last revised August 31, 2018.

- Legend**
- Existing Buildings, Pavement, Drives, Walkways, Ramps, Misc. Appurtenances within hatched areas TO BE REMOVED
  - Existing Structure TO BE REMOVED or RELOCATED
  - Existing Fence / Utility / Curb Line TO BE REMOVED or RELOCATED
  - Existing Storm Drain Structure

**General Notes**  
1. Existing Land Use: Retail.  
2. Information regarding the reputed presence, size, character and location of existing underground utilities and structures is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures shown hereon may be inaccurate and utilities and structures not shown may be encountered. The owner, his/her employees, his/her consultants and his/her contractors shall hereby distinctly understand that the engineer / surveyor is not responsible for the correctness or sufficiency of this information.

